



TOWN OF CORTLANDT

ZONING BOARD OF APPEALS

Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567
914-734-1080

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Chairman

Wai Man Chin
Vice-Chairman

Chris Beloff
Frank Franco
Michelle Piccolo Hill
Benito Martinez
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You are invited to a Zoom webinar.
When: Apr 18, 2024 07:00 PM Eastern Time (US and Canada)
Topic: 2024 April 18 Zoning Board Meeting

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AGENDA.....ZONING BOARD OF APPEALS
Town Hall – 1 Heady Street
Cortlandt Manor, NY 10567

Work Session – Thursday, April 18, 2024 at 6:30 PM

1. Discuss Agenda for the Regular Meeting

Regular Meeting – Thursday, April 18, 2024 at 7:00 PM

1. Pledge to the Flag and Roll Call
2. Adoption of the Meeting Minutes for March 21, 2024

3. OLD BUSINESS

A. Case No. 2023-17 Application of Parth Patel for an interpretation of the Zoning Ordinance appealing the denial of a building permit for a new one-family residence for property located at 41 E. Hill Road.

4. NEW PUBLIC HEARING

A. Case 2024-3 Application of Jennifer Daddio for an area variance for a front yard setback for a proposed portico over an existing front entry for property located at 13 Tommy Thurber Lane.

NEXT REGULAR MEETING THURSDAY, MAY 16, 2024

TOWN OF CORTLANDT
PLANNING AND ZONING BOARDS

ZONING BOARD MEETING

Town Hall
1 Heady Street
Cortlandt Manor, NY 10567
March 21, 2024
7:00 p.m. - 7:33 p.m.

March 21, 2024

MEMBERS PRESENT:

Michael Fleming, Chairman

Wai Man Chin, Vice-Chairman

Chris Beloff, Member

Michelle Piccolo Hill, Member

Benito Martinez, Member

Thomas Walsh, Member

ABSENT:

Frank Franco, Member

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2 (The board meeting commenced at 7:00 p.m.)

3 MR. MICHAEL FLEMING: I'd like to call
4 to order the March 21, 2024 meeting of the Town
5 of Cortlandt Zoning Board of Appeals.

6 MR. WAI MAN CHIN: Pledge of allegiance.

7 MR. FLEMING: Hang on one second. Yeah,
8 all right. First I'd like to start and invite
9 anybody who wishes to join me, we're going to say
10 the pledge of allegiance.

11 MULTIPLE: I pledge allegiance to the
12 flag of the United States of America and to the
13 Republic for which it stands, one nation under
14 God, indivisible, with liberty and justice for
15 all.

16 MR. FLEMING: All right, roll call?

17 MR. MICHAEL CUNNINGHAM: Ms. Piccolo
18 Hill?

19 MS. MICHELLE PICCOLO HILL: Here.

20 MR. CUNNINGHAM: Mr. Martinez?

21 MR. BENITO MARTINEZ: Here.

22 MR. CUNNINGHAM: Mr. Fleming?

23 MR. FLEMING: Here.

24 MR. CUNNINGHAM: Mr. Chin?

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2 MR. WAI MAN CHIN: Here.

3 MR. CUNNINGHAM: Mr. Walsh?

4 MR. THOMAS WALSH: Here.

5 MR. CUNNINGHAM: Mr. Beloff?

6 MR. CHRIS BELOFF: Here.

7 MR. CUNNINGHAM: And Mr. Franco is noted
8 as absent.

9 MR. FLEMING: Thank you. Has everyone
10 had, has everyone had the opportunity to review
11 the minutes from the February 15th meeting?

12 MR. CHIN: I, I did and I approved the
13 minutes of meeting of February.

14 MR. FLEMING: Make a motion to --

15 MR. CHIN: I make a motion to approve
16 the minutes, oh, I'm making the motion.

17 MR. FLEMING: You're making the motion.
18 Second?

19 MR. MARTINEZ: Second.

20 MR. FLEMING: All in favor?

21 MULTIPLE: Aye.

22 MR. FLEMING: Any opposed? No. Meetings
23 are approved, so the February 15, 2024 meetings
24 are approved as written. Today on the agenda we

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2 have two adjourned public hearings. The first is
3 case number 2023-17. So I think that's yours?

4 MS. PICCOLO HILL: Yes. And that's the
5 application of Parth Patel for an interpretation
6 of the zoning ordinance appealing the denial of a
7 building permit for a new one-family residence
8 for the property located at 41 East Hill Road.

9 MR. FLEMING: Does the applicant have
10 anything to share to start with?

11 MR. CLIFFORD DAVIS: Yeah, I'll be
12 brief.

13 MR. FLEMING: Please.

14 MR. DAVIS: Please be brief you mean?

15 MR. FLEMING: Please be brief, but also
16 please come to the podium and --

17 MR. DAVIS: Okay, good evening. My name
18 is Clifford Davis. I represent the applicant, Mr.
19 Patel. There's not much.

20 MR. FLEMING: Can you pull the mic down
21 towards you?

22 MR. CHIN: Yeah, towards you.

23 MR. DAVIS: Is that better?

24 MR. FLEMING: It doesn't pick up a lot

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2 if you don't, so sorry about that.

3 MR. DAVIS: Is that working better?

4 MR. FLEMING: That is.

5 MR. CHIN: Yeah, right.

6 MR. DAVIS: Okay. Very good. So the
7 legal -- the house that Mr. Patel and his wife
8 live in is lots 10 and 11 and what we're asking
9 this board to do with reference to the denial
10 letter is make a determination that lots 25 and
11 26 did not merge with lots 10 and 11 when the
12 house was built in 1996.

13 And the legal issue that is before this
14 board is an interpretation of section 307-8 of
15 the code and that essentially is what is the lot
16 depth if you took all of the four lots and you
17 considered them together. When you look at the
18 lot depth, it adds up to 98.78 feet while the
19 required lot depth is 150 feet. So pursuant to
20 this town's code, it did not merge.

21 The board was concerned that somehow my
22 client received some benefits from lots 25 and 26
23 when he built his house on lots 10 and 11. We
24 submitted an expert Cronin engineering report,

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2 which showed that that was not the case. The
3 house could have been built to 3,290 square feet
4 with or without lots 25 and 26 and the house is
5 smaller than that. The board then essentially
6 called a timeout and said let's go back and look
7 at the records. I believe there, it was between
8 50 and 55 pages of records and nothing in there
9 indicated that the lots had merged, that you had
10 got gotten those documents from the building
11 inspector.

12 So we believe we have addressed all of
13 the board's concerns. It's a legal issue before
14 this board. If the board grants our application,
15 all that means is that my client would then make
16 an application administratively through the town
17 to build his single family house. So we ask that
18 there be a determination that lots -- so any new
19 house that would be built would be on lots 25 and
20 26, so there should be no confusion that we're
21 seeking two houses. And what we're asking the
22 board to do is make a determination that lots 25
23 and 26 didn't merge with lots 10 and 11. So if
24 you have any questions.

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2 MR. FLEMING: I just want to make sure
3 and that's, that's the, the specific finding
4 you're asking for, that lots 25 and 26 did not
5 merge pursuant to the town code with lots 10 and
6 11.

7 MR. DAVIS: That's correct, with lots 10
8 and 11. And that if we receive your approval,
9 there's only going to be one house and that's
10 going to be on lots 25 and 26.

11 MR. FLEMING: Understood.

12 MR. DAVIS: Okay. Thank you.

13 MR. FLEMING: Thank you. Before the
14 applicant sit down, does anyone have any
15 questions for the applicant?

16 MS. PICCOLO HILL: Nope.

17 MR. FLEMING: All right. I think we
18 should open it up for public hearing.

19 MS. PICCOLO HILL: Yeah.

20 MR. FLEMING: All right, so any members
21 of the public who wish to speak on this, please
22 come forward. Just the same information I gave
23 the applicant, can you just make sure the
24 microphone is pointed towards your mouth and then

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2 I ask you to give us your name and your address
3 before you give us any information you want to
4 give us.

5 MR. NICHOLAS MALGERI: Okay. My name is
6 Nicholas Maucieri. I'm here with my wife Karen
7 Maucieri and we live at 29 East Hill Road,
8 Cortlandt Manor, New York.

9 MR. FLEMING: Thank you.

10 MR. MAUCIERI: In 1988 we were
11 interested in buying a house in Cortlandt Manor.
12 We found Country Woods Development. It was all
13 woods, not even a road was there at the time. We
14 were able to pick the style house we wanted and
15 the lot that we, it would be built on. That's
16 where our house is right now on that particular
17 lot, next to the piece of land that's in
18 question. So we chose that lot because the
19 salesperson explained to us that there will never
20 be a house built next to our house on the left
21 hand side of our house. There will always be a
22 buffer of property due to the fact that the house
23 will be built on top, not to the side, behind our
24 house, and the property next to us will be their

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2 yard. He also stated that when the property was
3 subdivided for development, Country Woods needed
4 to meet the required square footage to build on,
5 which I believe was the minimum of a half-acre as
6 per town of Cortlandt zoning code laws.

7 So I did not take the salesperson's word
8 for it. I went to the Cortlandt Town Hall, which
9 was in Croton at the time, we're talking 35 years
10 ago. And, I don't recall who I spoke to, but they
11 confirmed what the salesperson was telling me.

12 So lots 10 and 11 did benefit from lots
13 25 and 26 to meet the requirements for the town
14 of Cortlandt. In Mr. Patel's letter, he states
15 that the lots do not touch each other. They do.
16 Lots 10 and 25 are back to back.

17 The property was advertised for sale
18 when Mr. Patel purchased the property, and in the
19 ad for the property said it had 25 square foot
20 house on 0.70 acres, which is just less than
21 three-quarters of an acre. So to me, that means
22 that the entire property was what was sold. So
23 Phoenix Construction built seven houses on East
24 Hill Road and was required by the town of

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2 Cortlandt to meet the minimum square footage of
3 property to be built. Phoenix Construction
4 purchased the property from his father-in-law,
5 Mr. Cronin, who owned Cronin Engineering, and Mr.
6 Monsell, who is the owner of Phoenix
7 Construction, told me that he needed to build on
8 three sections, three lots from the old map.

9 So my research shows that when a
10 subdivision is approved, it supersedes the map of
11 1980 -- 1907. To refer to the map of 1907 is a
12 moot point unless the property was grandfathered,
13 in as the case with Mr. Cozzi. Referring to Mr.
14 Cozzi in any case or any other properties
15 grandfathered in is a moot point. It doesn't
16 pertain to the case because of the subdivision.

17 As far as the dumping ground stated by
18 Mr. Davis, yes, there are lawn grass clippings,
19 which are probably mine. My landscaper, we have a
20 decorative grass along the property, my
21 landscaper cut the grass, dropped it there. I
22 mean it's biodegradable and it happens to be the
23 same landscaper as Mr. Patel. And if Mr. Patel
24 had an issue with that, I wish he had come to me

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2 and, you know, stated that.

3 So in the records here of the Cortlandt
4 Manor Town Hall here, there's a property record
5 card. So here it shows Mr. Patel who purchased,
6 who purchased the house from Mr. Mocker, who
7 purchased the house from LPL Custom Builders
8 Inc., who purchased the house from Country Woods
9 at Cortlandt Associates. So you have four
10 different purchases and there was never a
11 questioning whether those lots were part of the
12 purchase or not. So it is, it is part of -- part,
13 you know, the whole, the whole lot. It's part,
14 it's part of all one and the same.

15 So, you know, referring to Mr. Patel's
16 house that was built by LPL Builders, the square
17 footage of the house that was built, as Mr. Davis
18 had said, 25 -- 2,758 square feet. The house was
19 built by LPL builders to a size that would be
20 most profitable for them at the time. Just
21 because it didn't meet the 3,290 square feet
22 shouldn't be an issue. So it really should have
23 no bearing on any of your decisions in my
24 opinion.

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2 There are a number of houses that have
3 front of the house and the back of the house on
4 East Hill Road, like Mr. Davis is talking about.
5 12 East Hill Road, 47 East Hill Road and some of
6 the properties go from East Hill Road to
7 Lockwood. And there's also one property at the
8 cul-de-sac that goes to Stonefield Court. So to
9 say that the front and back is on East Hill Road,
10 again, I don't believe that should be an issue.

11 I just want to thank you for your time
12 and I think if you decide to allow this, I think
13 you're setting a terrible precedent for not only
14 Country Woods, East Hill Road, but the rest of
15 Cortlandt Manor. Thank you for your time.

16 MR. FLEMING: Thank you.

17 MS. PICCOLO HILL: Thank you.

18 MR. FLEMING: Any other members of the
19 public? I'm sorry, if any other members of the
20 public want to be heard, please step forward.
21 Same instruction. If you can just state your name
22 and address and make sure that mic is by your
23 face there.

24 MR. ROBERT GROSS: Sure. That, that

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2 should be fine. Good evening, Mr. Chairman,
3 members of the board. My name is Robert Gross and
4 I reside at 25 East Hill Road, which is adjacent
5 to Lot 26 along with my wife and family. And
6 we've been there since December, 2022. Contrary
7 to the, to the petition that 1907 map submitted
8 in support of the application does not indicate
9 to the community that that it was mapped in such
10 a way that there would be a separate house on
11 lots 25 and 26, as what was said by Nicholas.
12 That is a four-lot house. That's how it was
13 designed. It's been that way for, and now I found
14 that out, this is now, he's now the fourth owner
15 of that house. And that's just how that, that
16 house, that particular house is. And the builder
17 intentionally determined that 41 East Hill Road
18 was to include lots 10, 11, 25 and 26; 26 is
19 right adjacent to my house. And no documentation
20 has been submitted to the contrary.

21 The real, the salient issue here is the
22 intent. What was the intent of that builder when
23 they did this? And the town code section 307-8,
24 subdivision C that the town that the town code

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2 has here is that's what you have to look at. It's
3 the intent here of that actual builder. Because
4 at that time, if they didn't want to have these
5 other lots part of it, they wouldn't have had
6 that. And the issue also is, is that the, that
7 it's common sense is that these two particular
8 lots, you know, they, here 25 and 26 even
9 combined with 10 and 11 and it's the 98.7 feet or
10 it's seven, eight feet, it's not big enough.
11 It's, it's going to be a smaller house that's
12 going to be put adjacent to two houses, Nick and
13 Karen's house and my house. It's not going to be
14 at all along with the character of that
15 neighborhood.

16 And the other issue is this is a 30 some
17 odd year development, where you have mature
18 landscaping. It's all set. This is not like all
19 these homes are going in at the same time. This
20 is now they would, if you were to go up there,
21 you'd see that there is a, a lot, it's got mature
22 trees there, you know, wildlife goes through
23 there. It's a nice area. And to rip it all down
24 and to stick a small house that's not in --

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2 that's not consistent with the neighborhood would
3 not be proper.

4 What's also interesting as noted by
5 Martin Rogers, director of code enforcement, the
6 building permit and the certificate occupancy
7 were for a one-family residence for 10, 11 and 25
8 and 26. And it's been vacant now for the past,
9 you know, 30, almost 40 years now. And it would
10 totally destroy the whole area of that of East
11 Hill Road to have that ripped out. And as far as
12 the Cozzi house, if we're going bring that up, I
13 encourage the board to go up there and look at
14 it, because if you want to see what the front of
15 that house looks like right now, there's a house
16 that's up, there's a, there's a backhoe on a pile
17 of rocks. It's all ripped up and they still
18 haven't finished it. It would be a total eyesore
19 from the whole front of East Hill Road. You know,
20 right now there's a home for sale up there. I can
21 only imagine people coming up and seeing another
22 backhoe, you know, propped up on rocks and say
23 what kind of place is this? It's not at all in
24 the character of the neighborhood. And, you know,

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2 and we would implore you as residents, you'll
3 hear from more people to deny the application.
4 Thank you for your consideration.

5 MR. FLEMING: Thank you. Any other
6 members of the public wish to step forward,
7 please do so.

8 MR. CHIN: Anybody on Zoom?

9 MR. FLEMING: Alright. Is there anybody
10 on Zoom who wishes to participate? You could
11 raise your hand. Nope. Okay, so --

12 MR. DAVIS: If I can just one point.

13 MR. FLEMING: You're welcome to do so.

14 MR. DAVIS: Okay. Thank you Mr.
15 Chairman. The board has to stay on point, which
16 is the legal issue, and that is 307-8C. It's not
17 an intent, it's a simple mathematical, it's
18 looking at the 1907 map. And, you know, the
19 applicant has to go, has to meet all the setback
20 requirements and all that other stuff, but he
21 doesn't have to meet the issue of property
22 acreage, just like every house there is, is under
23 the requirement. So I, I, you know, I just don't
24 want the board to get sidetracked by hearsay

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2 statements about what a salesperson said, what
3 somebody said, but they can't remember the
4 person's name where there's not documentation.
5 The code says what this board has to analyze. I
6 think it was vetted by Mr. Kehoe and Mr.
7 Cunningham and, and by this board. Thank you.

8 MR. FLEMING: Yeah, absolutely. I'll
9 allow you to -- please come forward.

10 MR. MAUCIERI: I'd like to correct Mr.
11 Davis. Yes, I did speak to the salesperson, but I
12 didn't take his word for it.

13 MR. FLEMING: I appreciate -- we don't
14 like that people start --

15 MR. MAUCIERI: I'm sorry.

16 MR. FLEMING: Any of your comments,
17 you're welcome to direct them towards me and, and
18 --

19 MR. MAUCIERI: I apologize.

20 MR. FLEMING: -- to your benefit, I, I
21 listen to every -- all of us listen to every
22 single person's comments and we decide what the
23 issues are and what we should focus on.

24 MR. MAUCIERI: Okay.

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2 MR. FLEMING: It doesn't make a
3 difference if you, or if an applicant's attorney
4 or architect says it. We listen to everybody and
5 we take everything you say.

6 MR. MAUCIERI: So my rebuttal is not
7 necessary.

8 MR. FLEMING: You, you're absolutely,
9 you're welcome to give any, any further statement
10 you want to give. I just want to let you know
11 that, you know, we, we, we don't --

12 MR. MAUCIERI: Yeah.

13 MR. FLEMING: We listened to everything,
14 I just wanted to say.

15 MR. MAUCIERI: I just want to clear the
16 fact up that yes, I did speak to the salesperson,
17 but I went to the town hall, which was in Croton
18 at the time, and I got the word from the, I'm not
19 sure if it was the planning department or the
20 zoning department, but they, they confirmed that.

21 MR. FLEMING: I appreciate it.

22 MS. PICCOLO HILL: Can you actually
23 just, I have a question. So can you clarify for
24 me, you said something about, a subdivision

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2 supersedes the 1907 map?

3 MR. MAUCIERI: That's correct.

4 MS. PICCOLO HILL: So the town said that
5 to you? So can you just clarify a little more
6 about what that, what happened with that
7 conversation?

8 MR. MAUCIERI: So, my research with a
9 number of builders I do work for and their
10 lawyers. And they told me that when there's a
11 approved subdivision, any map that is existing is
12 superseded by the subdivision. So going back to
13 the map of 1907 doesn't make any sense because
14 it's superseded by the approved subdivision of
15 Cortlandt Manor.

16 MS. PICCOLO HILL: Thank you. Is there,
17 I mean --

18 MR. MICHAEL CUNNINGHAM: So I'm not, I
19 mean I'm, I'm sure you were told that. I, I don't
20 know specifically, and, and I don't know if there
21 was necessarily a further subdivision map. I
22 think it was just the original map and then the
23 builders built on the parcels based on the
24 original map.

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2 MR. MAUCIERI: That was Country Woods,
3 Cortlandt Associates, that was the subdivision
4 for Country Woods, which is East Hill Road, Perry
5 Street.

6 MR. FLEMING: Yeah, but I think what Mr.
7 Cunningham is saying they didn't actually form a
8 new neighborhood plat, for lack of a better word
9 when the houses were built, they'd literally
10 built on lots one and two and lots three and four
11 and lots five and six, again, for example, not
12 specifying those lot numbers.

13 MR. MAUCIERI: Right.

14 MR. FLEMING: So the 1907 map certainly
15 was, you know, relevant to see what this, you
16 know, building looked like when it was originally
17 honestly designed to have homes put there at all.
18 Before, before that it was, it was nothing. They
19 didn't all get built. And I understand that 1907
20 development didn't happen as it was intended. But
21 what, what I think we're saying is I'm not aware
22 and I haven't seen anything that there was a
23 second --

24 MS. PICCOLO HILL: Map.

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2 MR. FLEMING: -- development map --

3 MR. MAUCIERI: Okay.

4 MR. FLEMING: -- created when the
5 developing did actually start.

6 MR. MAUCIERI: Okay.

7 MR. FLEMING: Many, many years later.

8 But it did --

9 MR. MAUCIERI: Well we, we did see a map
10 and that could have been a sales map from Country
11 Woods, but it showed the different lots and the
12 lot that we purchased next to Mr. Patel's lot,
13 showed it as one lot. And, again, I did go and
14 confirm that -- I confirmed that with the town 35
15 years ago. And each house that's built there
16 that's not grandfathered in is at, on a minimum
17 of three lots from 1907.

18 MR. FLEMING: Okay.

19 MR. MAUCIERI: Thank you.

20 MR. FLEMING: Thank you.

21 MS. PICCOLO HILL: And the town has no
22 new subdivision map?

23 MR. CUNNINGHAM: Not that I'm aware of.
24 Something that the board, because we're getting

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2 to that stage obviously, where the boards can
3 determine, you know, whether or not it's going to
4 close the public hearing and it seems like verbal
5 comments done, what you could always do --

6 UNIDENTIFIED FEMALE: Excuse me, could
7 you please speak up? We can't hear. Okay.

8 MR. CUNNINGHAM: Sure.

9 UNIDENTIFIED FEMALE: Thank you.

10 MR. CUNNINGHAM: Sure. So what, what I
11 was saying is we're getting to the point now
12 where it looks like the town -- because all the
13 verbal comment has, it seems to have been placed
14 before the board. So what the board will probably
15 consider doing is closing the verbal part of the
16 public hearing. They could consider keeping a
17 written comment period open and it would allow
18 residents to further written comments. But, you
19 know, it's up, it's in the board's discretion.

20 MR. FLEMING: All right. With, with that
21 being said, is there any further public comment?

22 UNIDENTIFIED FEMALE: Yeah, I do.

23 MR. FLEMING: Please come forward. Just,
24 Just state your name and address and make sure

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2 you pull that mic down to you so we could hear
3 You.

4 MS. BERNICE KRANZ: Hi, Bernice Kranz,
5 26 East Hill Road.

6 MR. FLEMING: Thank you.

7 MS. KRANZ: Cortlandt Manor. I'm not an
8 attorney, but I do live in a really nice house in
9 a really lovely neighborhood. And I'm concerned
10 that these houses, which in my opinion, they
11 don't belong there, they don't fit in with the
12 other homes. And as a widow, I'm concerned that
13 they will lower the aesthetic beauty of the
14 development, my property and I'm paying taxes.
15 And if these houses are going to bring down the
16 desirability of the development then I think I
17 ought to get a tax break. I do. That, well, you
18 wanted me to express how I feel.

19 MR. FLEMING: You're welcome to it.

20 MS. KRANZ: That's how I feel. I feel
21 that these houses do not belong. They don't fit
22 in and that they would lower the desirability of
23 people maybe looking to purchase my house. That's
24 it. Thank you very much.

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2 MR. FLEMING: Thank you.

3 MR. CHIN: What's her address?

4 MR. FLEMING: She did tell us, but sure.
5 She, she did tell us.

6 MR. CHIN: Oh, she did?

7 MR. FLEMING: Yeah. Ma'am, I'm sorry.
8 Some of the board members didn't hear it. Could
9 you just tell me your address real quick so I can
10 make sure it's on the record? You can tell me
11 from there. I'll just repeat it.

12 MS. KRANZ: 26 East Hill Road.

13 MR. FLEMING: 26 East Hill Road. Thank
14 you ma'am.

15 MS. KRANZ: Okay.

16 MR. FLEMING: It's 26 East.

17 MR. CHIN: How could that be?

18 MR. FLEMING: All right, anybody else?
19 No. Okay. So let's have a motion to close the
20 public hearing.

21 MS. PICCOLO HILL: I motion to close the
22 public hearing.

23 MR. MARTINEZ: I second it.

24 MR. FLEMING: All in favor?

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2 MULTIPLE: Aye.

3 MR. FLEMING: All right, public hearing
4 is now closed. I'll take a thumb vote. Do you
5 want to vote or do you want to leave --

6 MS. PICCOLO HILL: Well --

7 MR. FLEMING: -- one at a time, the
8 question is, do you want to take a vote right now
9 or do you want to adjourn this to have written
10 comment and then we'll take a vote without
11 further public hearing at the next meeting?

12 MS. PICCOLO HILL: I personally would
13 like to hear written public comment.

14 MR. FLEMING: Okay, that's fine.

15 MS. PICCOLO HILL: Just because that I
16 just want to make sure there's no subdivision
17 map.

18 MR. FLEMING: Okay, that's fine.

19 MR. WALSH: Yeah, I agree.

20 MR. FLEMING: Benito, do you have an
21 opinion on it?

22 MR. MARTINEZ: I, I agree.

23 MR. CHIN: Adjourn.

24 MR. FLEMING: So the question is, do you

1 March 21, 2024

2 want to adjourn this or do you want to hold the
3 vote right now?

4 MR. CHIN: Well, let's close the public
5 hearing, but what --

6 MR. FLEMING: Again, it's vote right now
7 or do you want to adjourn this to allow for
8 written comment?

9 MR. CHIN: I'd rather have the written
10 comments --

11 MR. FLEMING: Okay.

12 MR. CHIN: -- so we got to get it right.

13 MR. FLEMING: Tom?

14 MR. WALSH: Adjourn and I would like to
15 know about the subdivision matter, so --

16 MR. BELOFF: And I agree.

17 MR. FLEMING: All right, so what we're
18 going to do is we're going to -- the public
19 hearing is closed, so we won't take any more
20 public comments. We will allow written comments
21 for the next 21 days. I think our next hearing is
22 set for April, sorry --

23 MR. WALSH: 18th.

24 MR. FLEMING: -- April 18th. So we'll

1 March 21, 2024

2 have all public, all, all comments will have to
3 be in by the latest of April 11th, a week before
4 that hearing so we'll have an opportunity to
5 review them. Anyone has any additional
6 information, if you, you know, for example you do
7 have a map that you want to show us, we'll, we're
8 absolutely happy to look at any other
9 information. Applicant, I'm sorry, I'm going to
10 have to ask you to come back for the April 18th
11 hearing. We won't have public comment. What we'll
12 do is at that point vote based on the written
13 information that we receive. You also are invited
14 to provide any further written information you
15 you'd like to provide before we vote for our
16 consideration as well. Alright, thank you. And
17 that closes that closes this matter.

18 MR. CUNNINGHAM: And please submit all
19 written comments to Chris Kehoe, who's our town
20 planner.

21 MR. FLEMING: Oh, I'm sorry. Yeah,
22 submit written comments to Chris Kehoe and if
23 you, if you don't have his email address --

24 MR. CUNNINGHAM: It's on the website

1 March 21, 2024

2 too.

3 MR. FLEMING: Okay. And, and you're
4 welcome to submit any attachments or other
5 documents that you want, in addition to your
6 Comments. And if you can't find it on the
7 website, just call Town Hall and they will make
8 sure they get you in contact with Mr. Kehoe.

9 MR. CHIN: Yeah, as long as it's by
10 April 11th.

11 MR. FLEMING: April 11th, yeah, thank
12 you

13 MR. CHIN: At the latest.

14 MR. FLEMING: Thank you.

15 [OFF-MIC CONVERSATION]

16 MR. FLEMING: Well, this is
17 specifically, we're not going to vote until we
18 get the public comments in written form, so
19 that's fine.

20 [OFF-MIC CONVERSATION]

21 MR. FLEMING: I do understand. All
22 right. I moved off my agenda, so give me one
23 second to move back to it. All right. All right.
24 The next case is adjourned from our prior

1 March 21, 2024

2 hearing. This is case number 2024-2, application
3 of Beth Cofini and this is, I'm sorry, Benito's
4 case?

5 MR. MARTINEZ: Yes.

6 MR. FLEMING: Mr. Martinez, go ahead.

7 MR. MARTINEZ: Yeah, Mr. Chairman, we
8 have the case number 2024-2 in which they're
9 requesting a, a variance for to have five dogs
10 with the town only permitted to have three. This
11 is and that's for the address actually, I'm
12 sorry, 23 Willow Place, Ms. Beth Cofini. Ms.
13 Cofini.

14 MR. FLEMING: Ms. Cofini, if you want to
15 come forward as the applicant, if you have
16 anything to say.

17 MS. BETH COFINI: Yes.

18 MR. FLEMING: Same thing as in the prior
19 hearing too, just state your name and your
20 address for the record.

21 MS. COFINI: Yep. Beth Cofini, 23 Willow
22 Place, Lake Peekskill, New York.

23 MR. JOHN TENAGLIA: John Tenaglia, 23
24 Willow Place, Lake Peekskill, New York.

1 March 21, 2024

2 MR. FLEMING: Thank you.

3 MR. MARTINEZ: You can --

4 MR. FLEMING: If you have anything you
5 want to start with, you have a statement,
6 anything you want to say, you're welcome to.

7 MS. COFINI: I, I think we, we sent two
8 suggestions. I don't, I don't know what to tell
9 you. I guess I'm here to find out what the fate
10 is of my five dogs and what your plan is for
11 them.

12 MR. FLEMING: Okay. So with that in
13 mind, we had a meeting before this. There is a
14 public meeting prior to this hearing at 6:30. We
15 talked about the case. And what the board is
16 prepared to do is to vote on granting your
17 variance conditioned upon three conditions. The
18 first condition is the construction of a fence
19 fully enclosing the yard that the dogs will be
20 allowed to go into.

21 MS. COFINI: Mm-hmm.

22 MR. FLEMING: So, there's a condition on
23 that. Once we grant the variance, the variance is
24 for the existing five dogs. These five dogs must

1 March 21, 2024

2 get licensed. And the variance for five dogs,
3 again is limited to the five dogs that you'll
4 have to license as part of this condition. It's
5 not a variance to have five dogs. It's a variance
6 for you to have these five dogs.

7 MS. COFINI: Understood.

8 MR. FLEMING: Was there another one I'm
9 missing?

10 MR. CHIN: Sixty days from the --

11 MR. FLEMING: And, and that the fence,
12 to the extent possible, needs to be built within
13 60 days and if it can't be built within 60 days,
14 you need to come back to us and ask us to give
15 you an extension. For example, if you have a
16 contract that says they can't build it until June
17 15th, come back to us with that and then we would
18 extend it to June 15th. But, if you could do it
19 within the next 60 days, you don't have to come
20 back. Just, just do it within the next 60 days.
21 All right. So that, that, that's what we're going
22 to put before vote and I will ask --

23 MS. PICCOLO HILL: And did you touch
24 base on where the fence has to go?

1 March 21, 2024

2 MR. FLEMING: It has to have fully
3 enclose the yard that the dogs will be allowed
4 into. So if the dogs are going be allowed into
5 the yard, that entire yard has to be fully
6 enclosed by the fence.

7 MR. MARTINEZ: And that was your
8 intention to do the whole.

9 MS. COFINI: Okay.

10 MR. TENAGLIA: We're only going to do
11 the back.

12 MS. COFINI: I'm, I'm a little confused
13 because my neighbor on this side is completely
14 fenced in, so there's no way my dogs are going to
15 get onto her property. I also have a fence that
16 runs up along the side of the other people that
17 you contacted that had notified and had no
18 concerns about my dogs.

19 MR. CUNNINGHAM: You just have to speak
20 in the microphone for the record.

21 MR. FLEMING: You have to speak in the
22 microphone. We can't hear you.

23 MS. COFINI: All right. The people that
24 live on the, the woman who was here last time,

1 March 21, 2024

2 excuse me, she's completely fenced in.

3 MR. CHIN: If you want, take the
4 microphone, put it in, put it by you so you're
5 speaking to it. Otherwise it's not being
6 recorded, okay.

7 MS. COFINI: Sure. The woman to my left,
8 facing my house, the one who complained, she is
9 completely fenced in, in her backyard. There is
10 no possible way for my dogs to get into her yard
11 if I put the fence up where it comes from my
12 house to her fence. And then on the other side, I
13 come from my pool fence to my other fence that is
14 a stockade.

15 MR. FLEMING: So again, you're
16 responsible for building and maintaining a fence
17 that fully encloses your yard. This isn't you
18 allowed to build up to someone else's fence
19 because they can choose to take down.

20 MS. COFINI: They're my fences.

21 MR. FLEMING: Okay. Your neighbor can
22 take down her fence if she wants to. She doesn't
23 have to. So what we're telling you is the
24 condition we're placing on this. And again, you,

1 March 21, 2024

2 you could reject it and just comply without, you
3 know, and comply with the existing zoning law.
4 But if you want to, we're telling you if you want
5 to have five dogs, you have to have a fence that
6 fully encloses your yard that you will build and
7 maintain. Okay.

8 MS. COFINI: All I hear is a threat.
9 That's what I hear.

10 MR. MARTINEZ: It's not a threat.

11 MS. COFINI: It is a threat.

12 MR. MARTINEZ: It's not a threat.

13 MS. COFINI: It is a threat --

14 MR. FLEMING: You know, we're done.
15 Stop.

16 MS. COFINI: -- because I told --

17 MR. FLEMING: Stop. We're done.

18 MS. COFINI: -- you --

19 MR. FLEMING: That's it.

20 MR. CHIN: That's it.

21 MS. COFINI: I told you that I didn't
22 have the money to put up a fence.

23 MR. CHIN: Okay. That's it.

24 MS. COFINI: The part of the fence that

1 March 21, 2024

2 we're putting up \$7,000. Now you want me to
3 enclose the entire yard. Do you have any idea
4 what that's going to cost?

5 MR. FLEMING: I want you to enclose the
6 portion of the yard that you want your dogs to be
7 able to go into. If you want to make a 20 foot by
8 20 foot section for them, that's up to you. If
9 you want to have five dogs and you want to have
10 them be able to go outside your house, you're
11 going to have to put a fence up that encloses the
12 area they're allowed to go into. I'm not telling
13 you to fence your entire property, that's up to
14 you. This is what, this is the condition we're
15 putting on your request to have a variance from
16 the existing zoning that everyone else in the
17 town has to comply with. Okay. So I'd like you to
18 get a vote from the board on --

19 MR. CUNNINGHAM: So, we have the motion
20 to close the public hearing.

21 MR. FLEMING: Oh, you're right. I am
22 sorry. First, I need a motion to close the public
23 hearing.

24 MR. MARTINEZ: I make a motion to close

1 March 21, 2024

2 the public hearing.

3 MR. CHIN: Second.

4 MR. FLEMING: All in favor?

5 MULTIPLE: Aye.

6 MR. FLEMING: Against? Okay, the public
7 hearing is now closed. Now I need a motion to
8 approve a conditional variance conditioned on the
9 three conditions I mentioned, which is the
10 construction of a fence fully enclosing the yard
11 that the dogs will be allowed into within 60
12 days. That the, once the variance is granted, the
13 five dogs will be licensed and that the variance
14 is only -- is limited to those five licensed
15 dogs.

16 MR. MARTINEZ: I make a motion for that
17 too.

18 MR. FLEMING: So moved. All right.

19 MR. CUNNINGHAM: We'll need a second.

20 MR. FLEMING: Sorry. Mr. Cunningham, can
21 you pull the board?

22 MR. CUNNINGHAM: Sure. And we'll need,
23 we'll need a second on the motion.

24 MR. CHIN: Second.

1 March 21, 2024

2 MR. FLEMING: Oh.

3 MR. CUNNINGHAM: All right. So, Ms.
4 Piccolo Hill?

5 MS. PICCOLO HILL: Approve.

6 MR. CUNNINGHAM: Mr. Martinez?

7 MR. MARTINEZ: Approve.

8 MR. CUNNINGHAM: Mr. Chin?

9 MR. CHIN: Approve.

10 MR. CUNNINGHAM: Mr. Walsh?

11 MR. WALSH: Approve.

12 MR. CUNNINGHAM: Mr. Beloff?

13 MR. BELOFF: Approve.

14 MR. CUNNINGHAM: And Chairman Fleming.

15 MR. FLEMING: Approved.

16 MR. CHIN: Six to nothing.

17 MR. FLEMING: All right, so, a letter
18 will be sent. You'll be copied on it. A letter
19 will be sent to the town enforcement division
20 with which, which, which has that holding. After
21 that, it's up to you to comply with it.

22 MS. COFINI: Thank you.

23 MR. TENAGLIA: Have a good night.

24 MR. FLEMING: Thank you. Have a good

1 March 21, 2024

2 night.

3 MR. MARTINEZ: Good night.

4 MR. FLEMING: And with that I need a
5 motion to close --

6 MS. COFINI: Oh, Excuse me, just one
7 thing I'd like in writing, why you decided
8 against the collars, because now you're making me
9 spend 20,000 as opposed to 5,000.

10 MR. CUNNINGHAM: That'll be in the
11 decision.

12 MS. COFINI: To me, that is a threat.

13 MR. CHIN: That will be in the decision
14 and order.

15 MR. CUNNINGHAM: That'll be in the
16 decision and order as well.

17 MS. COFINI: And I will put it in
18 writing and I will send it to animal welfare.

19 MR. CHIN: Fine.

20 MR. FLEMING: Thank you.

21 MS. COFINI: Make sure animal welfare
22 knows how we treat animals in Cortlandt Manor.

23 MR. CHIN: I make a motion to close the
24 hearing.

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March 21, 2024

MR. WALSH: Second.

MR. FLEMING: Second, Tom Walsh
seconded. All favor of closing the hearing?

MULTIPLE: Aye.

MR. FLEMING: All right. Our next
hearing is 18th, the April 18th hearing. See
y'all then.

(The public board meeting concluded at
7:33 p.m.)

CERTIFICATE OF ACCURACY

I, Claudia Marques, certify that the foregoing transcript of the board meeting of the Town of Cortlandt on March 21, 2024 was prepared using the required transcription equipment and is a true and accurate record of the proceedings.

Certified By

A handwritten signature in cursive script that reads "Claudia Marques".

Date: April 8, 2024

GENEVAWORLDWIDE, INC
228 Park Ave S - PMB 27669
New York, NY 10003

CLIFFORD L. DAVIS
ATTORNEY AT LAW

200 MAMARONECK AVENUE
SUITE 602
WHITE PLAINS, NEW YORK 10601-5304

(914) 548-7422
cdavis@clifforddavis.com
www.clifforddavis.com

April 8, 2024

Honorable Members of the Town of
Cortlandt Zoning Board of Appeals
1 Heady Street
Cortlandt, NY 10567

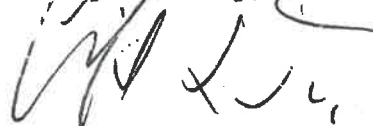
Dear Honorable Members of the Town of
Cortlandt Zoning Board of Appeals:

I am counsel for Parth Patel, who resides at 41 East Hill Road, Cortlandt New York. A resident had raised an issue that there was a new subdivision. That is completely inaccurate and not set forth in the voluminous file presented to this Board and reviewed by Mr. Martin, Mr. Kehoe, and Town Attorney Cunningham. The only subdivision took place in 1907 and is set forth on the 1907 "Map of Peekskill Terrace Building Plots, Westchester-Putnam Trolley and Land Improvement Company, Town of Cortlandt, Westchester County, NY." ("1907 Map"). There is no new subdivision map.

All of the documents considered by this Board refer to Lots 10 and 11, as to which Mr. Patel's house sits, and lots 25 and 26, the vacant wooded lots. It is disingenuous and distracting to raise such an issue without any backup.

We respectfully request that the Board find that Lots 25 and 26 did not merge with Lots 10 and 11 and that Mr. Patel be permitted to continue his application before the Building Department to build one house on lots 25 and 26.

Respectfully,



March 28, 2024

Mr. Chris Kehoe
Director Department of Planning & Community Development
Town of Cortlandt
1 Heady Street
Cortlandt Manor, New York 10567



Dear Mr. Kehoe:

Thank you for the time you extended to me on the phone on Tuesday, March 19th, to discuss the prospects of a house being built on lots ten and eleven on East Hill Road. I have been a resident of 31 East Hill since 1991.

Chris, as I stated to you on the phone, I am against a house being built there for numerous reasons which I conveyed to you. The property in question does not meet the one hundred fifty foot depth requirement, it's also a property where the two top lots clearly merge.

I have a question that I would like an answer to. This property, which comprises four parcels; lots 10, 11, 25, and 26 have been bought and sold on four separate occasions; Country Woods Associates in 1987, LPL Custom Builders, Inc. on 7/23/95, Gregory and Joyce Macher, on 4/30/97, and Parth Patel on 2/22/21. This purchase history clearly indicates that it is one piece of property. Am I correct in stating this?

The other reasons why I and many neighbors that attended the meeting on Thursday, March 21st, oppose the building of a house is; a much smaller house being built on a smaller parcel of property which not only negatively affects the value of the existing larger homes, but clearly is an infringement of privacy to house numbers 27 and 29. If the value of our homes decrease in value, so should our real estate taxes. In addition, building a house there is going to exacerbate the water problem that already exists in that specific area where water accumulates in the street. On a separate note, I find it to be hypercritical that Mr. Patel wants to build a house that is so close and smaller next to two neighbors with larger homes when both Mr. and Mrs. Patel was so upset and angry when a house was built next to his being the property was grandfathered.

Chris, again, I wanted to confirm to you in writing both my concerns and opposition to having the lot being approved to build a home.

Thank you for both your time and consideration.

Sincerely,

Salvatore Grippi
Salvatore Grippi

Chris Kehoe

From: karen maucieri <kmaucieri@optonline.net>
Sent: Monday, April 8, 2024 8:33 PM
To: Chris Kehoe
Subject: Please make sure all board members receive this letter as soon as possible . Thank You!
Attachments: Town of Cortlandt Public Web GIS Viewer East Hill upper1.pdf; Property Record Card East Hill; Town of Cortlandt Public Web GIS Viewer East Hill upper1.pdf

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Honorable Members of the Town of Cortlandt Zoning Board of Appeals,

On the property record card we are submitting it does show property know as 41 East Hill Road has been sold 3 times as a whole.

Country Woods at Cortlandt Manor sold to LPL Builders, LPL Builders sold to Mr. & Mrs. Gregory Macher , Mr & Mrs Gregory Macher sold to To Mr Parth Patel. As 1 whole unit

This neighborhood is still known as Country Woods as per current Real Estate listing information for 56 East Hill Road . Listing is attached

Please take a look at Country Woods map we have attached.

We have been stating that the property was sold as a whole and wasn't allowed to be separated prior. We have also been told that there are no records or anyone who was around at that time to verify this. Doesn't it make sense that Country Woods would have split up the property and would have built 2 house instead of 1 if they were allowed to do so? They are in the business to make as much money as they possibly can. To go 1 step further, why wouldn't LPL Builders not build 2 houses on that piece that was sold to them? 1 house on lots 10 & 11 and another house on lots 25 & 26?
They didn't because it wasn't allowed .

Mr. Davis stated when asked about how the property was purchased that it was just a deed transfer, another spinning of words and untruth.

It was and has always been sold as 1 unit since this area was developed.

In Mr. Patel's notarized letter and Mr. Davis's letter they state that the lots don't even touch each other. This statement is not only putting a spin on words but is an outright untruth!

We have attached the lot map so you can see that they do in fact touch. Lots 10 & 25 are even actually back to back.

The Real Estate ad for 41 East Hill Road shows the property as .69 acres for all 4 lots together.

As for the reason Mr. Patel wants to separate the property is that he doesn't use the backyard or even think of it as his backyard , it shouldn't be the communities problem.

He bought the property as 1 whole piece with the ad stating "plenty of room for a pool".

He also stated that the only reason he is doing this is that this was done to him. Mr. Cozzi was able to build because that property he built on was sold as 1 lot. It was grandfathered in. It wasn't ever connected to other lots as Mr. Patels property has been.

As to Mr. Davis stating there is no history of merger in his letter dated December 11, 2023 - By the way of background - there was not a separate sale. All lots are 1 unit and have been sold as 1 unit. There is not a separate date for certificate of occupancy as Mr. Davis wants you to believe.

There is 1 tax bill, 1 block number,1 sewer bill. It is one whole unit.

Provision on the code 265-19-A states " all lots shall conform to the zone requirement and be of a size and shape rendering them usable for the use contemplated"

The use contemplated is since 1989 is that it is the backyard for 41 East Hill Road.

150 feet is required for an R40 zone. The property has 98.78 feet . It is less than 150 feet.

With much respect,

Your taxpayers of 35 plus years,

Karen & Nicholas Maucieri

29 East Hill Road

Cortlandt Manor, N.Y.

\$950,000

56 E Hill Road, Cortlandt Manor, NY 10567

4beds

3baths

3,300sqft

Est. payment: **\$6,384/mo**

Get pre-qualified

Single Family Residence

Built in 2001

1.93 Acres lot

\$-- Zestimate®

\$288/sqft

\$-- HOA

What's special

MARBLE-FACED WOOD BURNING FIREPLACEMAHOGANY COVERED FRONT PORCHWALKOUT BASEMENTBLUESTONE PATIOMODERNIZED ENSUITE BATHFULL UNFINISHED BASEMENTEXPANSIVE YARD

This impressive custom colonial residence, situated at the end of a cul-de-sac within the Country Woods development, offers a spacious and luminous living environment. Upon arrival, the eye-catching mahogany covered front porch provides a serene vantage point with picturesque views. Numerous discerning details throughout immediately capture attention, including crown moldings, Brazilian cherry inlay adorning the dining room floor, chair rails, and picture frame molding. Enhanced with radiant heating in key areas such as the tiled laundry room, bathrooms, and basement, this home boasts nine-foot ceilings and Baldwin hardware on all doors. The primary suite offers ample space with a large walk-in closet and a modernized ensuite bath. The main level encompasses a generously sized open kitchen, a convenient full bathroom, and an updated hall bath on the upper level. A focal point of the living room is the marble-faced wood burning

fireplace, adding warmth and elegance to the space. The room over the garage can be finished for an extra bedroom or living space. A full unfinished basement with 9 ft ceilings and walkout present more opportunities for future use. And convenient storage solutions are found within the walk-up attic. Outside, the beautiful bluestone patio overlooks the expansive yard bordered by stone walls, providing a tranquil outdoor retreat. The spacious backyard offers ample potential for a stunning in-ground pool installation. Moreover, the property holds potential for subdivision, offering added value. The future lot would be part of the Stonefield Development behind the property. Municipal water and sewer services complement the property, while its prime location near schools, shopping, and dining options along Route 6, and close proximity to the Taconic State Parkway further enhance its desirability. Viewing this home in person is essential to fully appreciate the array of exceptional features it offers.

Show more

27 days

on Zillow |

3,662

views |

232

saves

Zillow last checked: April 07, 2024 at 03:04pm

Listing updated: April 01, 2024 at 03:26pm




Listing by:

Houlihan Lawrence Inc. 914-962-4900,

Elaine M Kincart 914-384-3384

Source: OneKey® MLS,MLS#: H6293535

OneKey








[More Info](#)
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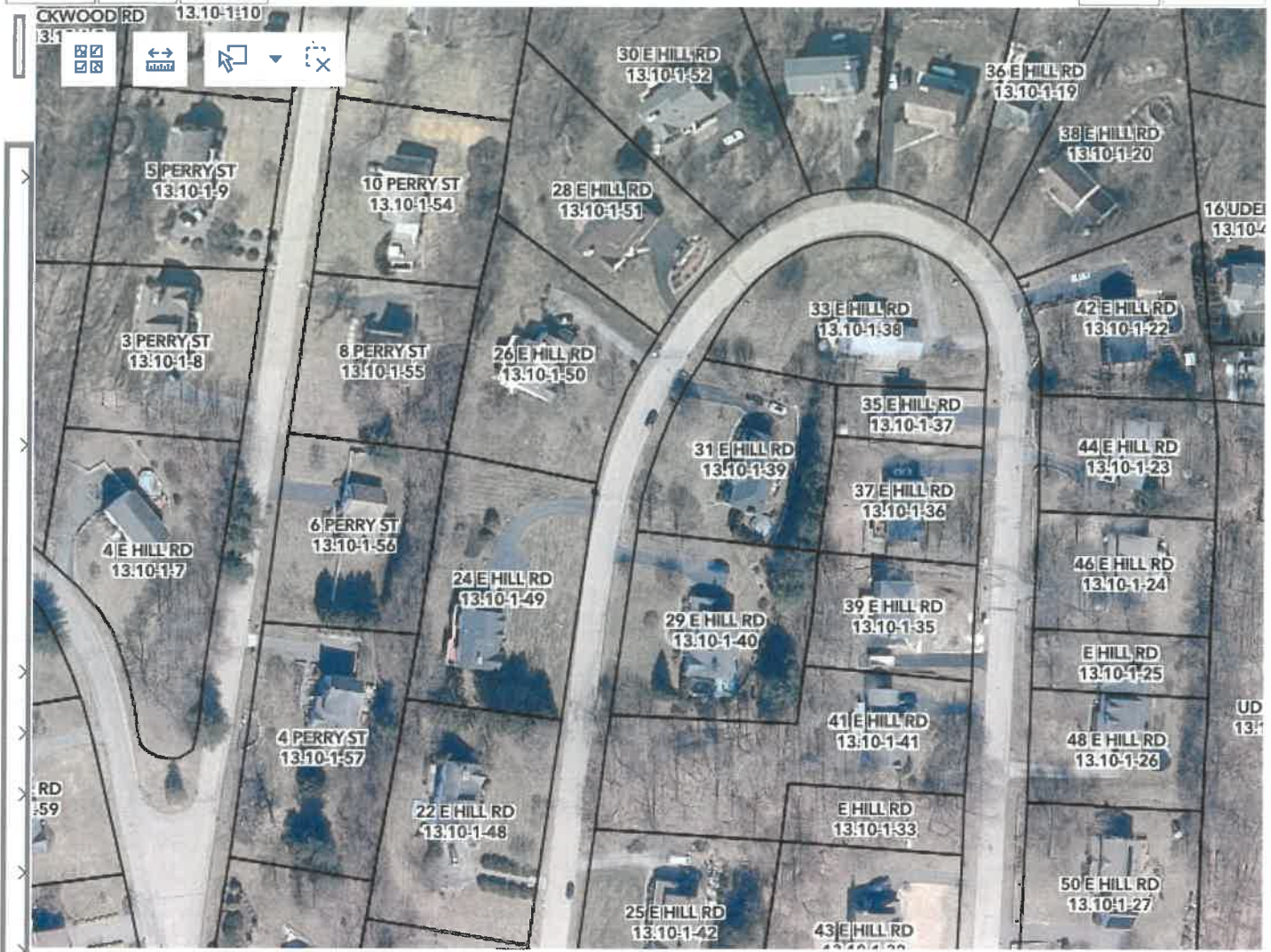


The Town of Cortlandt

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Selected features: 0



TOWN OF CORTLANDT, N.Y. PROPERTY RECORD CARD

552289 013 10 001 041 00
 004 01 003 031 00

MAP PAGE ZONING
 R-20

PROPERTY ADDRESS
 41 East Hill Road

COORDINATE SYSTEM N.Y.S. CODE
 (1987) - Sub-tension of
 4.1-3-1, 2, 4, 7, 8 + 19)

SPECIAL DISTRICT CODES
 13 97 96 73 99 P3

OWNERSHIP RECORD

County records at Cortlandt Assessor's Office
 L. 0947 P. 182 B. 41.87 07
 EAST HILL HOLDINGS CORP. P. 10557 3-19-93 338,000
 (ALSO SEE: 13-10-1-7, 16, 17, 22, 25, 26, 27, 28, 29, 38, 46, 56, 60)
 LPL Custom Builders, Inc. L. 11216 P. 51 7-23-95 67,000
 MACHER, GREGORY S. + JOYCE C. L. 11718 P. 236 4-30-97 260,000
 PATEL, PARTH 61044084 01/22/01 633,000

BUILDING PERMITS B.P. 21180 5/94 OPEN DECK & FRONT COVERED PORCH
 B.P. 21122 4/16 ONE FAMILY HOUSE ✓ B.P. 23079 8/99 ON OUR OWNERS' ACCOUNT TO EXISTING GARAGE

ASSESSMENT RECORD	1987	1989	1997	2000	2009	2021
YEAR	1987	1989	1997	2000	2009	2021
LAND	150	675	675	675	675	675
IMPROVEMENTS			8425	9125	8010	8160
TOTAL - FULL	150	675	9100	9800	8685	8835
O.A. EXEMPTION						
V.A. EXEMPTION						
FULL EXEMPTION						
EXEMPTION - OTHER						
TOTAL - LESS EXEMPTION						

✓ ✓ ✓ ✓ ✓ s/c ✓

Chris Kehoe

From: mjmiddleton1314@gmail.com
Sent: Wednesday, April 10, 2024 3:14 PM
To: Chris Kehoe
Subject: 41 East Hill Road

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Chris,

I write this letter and expect that it will be shared with the members of the town board.

It has come to my attention that recently new houses were built on the upper part of East Hill Rd. that was originally part of Country Woods. In addition, there were also two new houses built off of E. Hill Rd. on Pierce as well as property that is going to be developed right near the Pierce entrance. Although I live off of Stonefield Court, as you know, I am concerned about the property that is 56 E. Hill Rd. that is in contract of being sold, and was sold with a potential subdivision which connects to Stonefield Court alongside my property. My concern is that when these developments, both Country Woods and Stonefield Court were developed, they were developed with great thought of the impact on many different factors as I learned in my research of five months in the town offices. Final decisions were made with a number of houses in mind to circumvent any future issues. With all due respect, I feel that the town is allowing building and considering subdivisions like the one on 41 East Hill Rd. which is in front of the board at this time for a variance to be created. I understand that the board has new members and they may not be familiar with the concerns of the people on Trolley Road who are deeply affected by the runoff that floods their properties. This is not a new battle. Twenty years ago I fought for the possible afore mentioned subdivision near my house to be stopped! Two of my biggest concerns were the steep slopes and the drainage. With two new houses that were put up on E. Hill Rd., one thats breaking ground and another possible subdivision at 41 East Hill, I feel it is greatly necessary for the Board Members to consider the impact that has on the people on Trolley Road who were there to support me 25 years ago. Do the people of trolley Road even know about all this development that is going to continue to affect the flooding on their properties? Consider me a voice on their behalf. There are many new homeowners that are not aware of these impacts. We are now in the future that I talked about and this issue still concerns me! I respect the work that the town board members do for the people of our community and they're very valuable time! I am asking the members to deny the variance for the 41 East Hill Rd. property. This will be a small step in the direction of helping those affected.

I thank you for your consideration, and thank you for your contributions to our community.

Respectfully, Mary Jo Daley

9 Stonefield Court

Sent from my iPhone

April 10, 2024

Honorable Members of the Town of Cortlandt
Zoning Board of Appeals
Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567

Attention: Chris Kehoe

Re: Written Comment for Case No.: 2023-17

Dear Honorable Members of the Town of Cortlandt Zoning Board of Appeals,

We are Robert and Cindy Gross, residing at 25 East Hill Road, providing written comments to Mr. Patel's request for interpretation of Town Code Section 307-8 such that 41 East Hill Road comprising of Lots 10, 11, 25 & 26 are not merged and thereby requesting to build a residence on Lots 25 and 26.

As we understand, Mr. Patel is the fourth homeowner of 41 East Hill Road. Lots 10, 11, 25 and 26 have always transferred together with no indication otherwise. The builder considered all four lots as one zoned lot. Therefore, the four lots should remain as one zoned lot.

A decision by the Board that Lots 10, 11, 25 and 26 are not merged resulting in Mr. Patel's application to permit a house to be built on Lots 25 and 26 is contrary to the builder's original intention and is a substantial alteration to an established neighborhood. It is a matter that solely benefits Mr. Patel financially at a substantial cost to his neighbors which he turned to for support on the Cozzi variance last year.

Unbeknown to us at the time, immediately after the Board granted the Cozzi variance, Mr. Patel disingenuously began pursuing his request to build a home on Lots 25 and 26. In fact, we only learned of his intent to build a home after he was denied a permit and the current matter was brought in front of the Board.

While typically the financial benefit to a party on a matter pending with the Zoning Board of Appeals is not a matter of consideration, it is relevant in this instance as Mr. Patel urgently requested his neighbors' assistance and now he is looking to financially benefit at the expense of those neighbors who helped him. Mr. Patel has chosen to turn on the same neighbors that were willing to help him when the Cozzi matter was before the Board.

Returning to the language of Town Code Section 307-8, it is not written clearly and the Board may decide to amend the language to prevent others from making a similar request in the future. If the Board does decide to amend the language of the Town Code, Mr. Patel should not benefit from the current language as all supporting documentation indicates only a single house on Lots 10, 11, 25 and 26.

Alternatively, if the Board determines that Mr. Patel's lots are not merged, there will be further legal action required on property that was only intended to have a single family residence. All the while Mr. Patel will benefit financially if he chooses to sell the lots.

We respectfully request that the Board go beyond the words of the vaguely written Town Code and consider the intent of the builder and the historical transfer of 41 East Hill Road which only support a single residence.

Thank your your time and consideration.

Regards,

Robert and Cindy Gross

ZONING BOARD OF APPEALS FACT SHEET

ZBA Member Assigned: Franco

CASE NO.: 2024-3

Name of Applicant: Jennifer Daddio

Owner: Same

Address of property: 13 Tommy Thurber Lane

Section, Block, Lot: 54.16-1-14

Prior ZBA Case No.: NA

Zone: R-15

Lot Size: 15,481 sq. ft.

Request: Area Variance, front yard setback for a proposed portico over an existing front entry.

Staff Comments: The Code Enforcement office received a building permit application on April 26, 2023 for a proposed portico roof over an existing front entry with stairs and a landing at an existing single-family residence at 13 Tommy Thurber Lane. The Code Office denied the request on February 12, 2024. The house currently has a set of existing stairs and a landing. As per code the stairs are permitted to extend into the front yard setback. However, the new proposed portico roof over the stairs requires the variance.

Variance(s) Requested: Area Variance, front yard setback for a proposed portico over an existing front entry stairs and landing.

<u>REQUIRED</u>	<u>PROPOSED</u>	<u>VARIANCE</u>	<u>%</u>
Front Yard – 35 ft.	32 ft.	3 ft.	8.6%

SEQR: TYPE II – No further compliance required

Google Maps 99 Tommy Thurber Ln

Montrose, New York

Google Street View

Apr 2023

See more dates



Image capture: Apr 2023 © 2024 Google



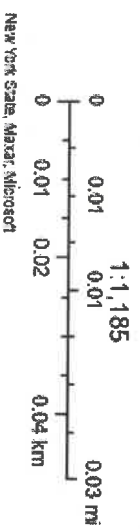
ZONING BOARD PUBLIC HEARING
TOWN OF COBBLAND
FOR HIS PROPERTY
CASE NUMBER: 15-1-0001
DATE & TIME OF HEARING: 4/15/15 @ 7:00 PM
CONTACT: TOWN OF COBBLAND PLANNING OFFICE
234 DUND
WWW.TOWNOFCOBBLAND.COM



Cortlandt



4/9/2024, 2:07:53 PM



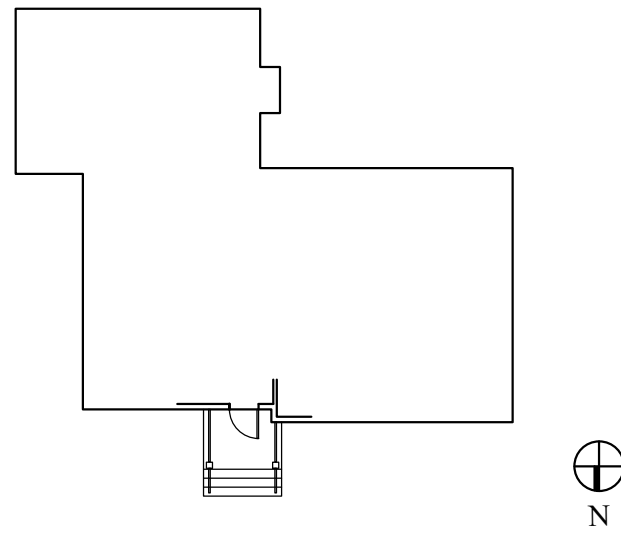
PORCH ADDITION TO THE DADDIO-DURAS RESIDENCE

13 TOMMY THURBER LANE
MONTROSE, NY 10548

ARCHITECT

Peter Gisolfi Associates
566 Warburton Avenue
Hastings-on-Hudson, NY 10706
(914) 478-3677

KEY PLAN



ABBREVIATIONS

at	DPR damper	HDM hardware	RLG railing
ADD addendum	DET detail	HM hollow metal	REIN reinforcement
AFF above finished floor	DEMO demolition	HC hollow core	RC reinforced concrete
AP access panel	DIAM diameter	HR hanger rail	REF reference
AC acoustical tile	DIFF diffuser	HT height	REG register (rad)
A/C air conditioning	DIM dimension	HVAC heating/ventilating/air conditioning	REN remove
ADD access door	DR door	HWD hardwood	REQ require (s)
AD area drain	D drain	HB hose bibb	RET return
ALUM aluminum	DN drywall	HMF hollow metal frame	RA return air
ALT alternate	DNS drawing	INCAN incandescent	REV revision (s)
ASB asbestos	E each	INSUL insulate (d) (lon)	RL roof ladder
ASC above suspended ceiling	EA each	INT interior	RO rough opening
ASPH asphalt	EJ expansion joint	INT interior	RV roof vent
BLDS building	ELC electrical contractor	INT interior	RD roof drain
BLT-IN built-in	ELEC electric (al)	JC janitor's closet	RM room
BM beam	EP electric panelboard	KIT kitchen	RB rubber base
BRK brick	ELEV elevator	LAM laminate	RBT rubber tile
BUR built-up roofing	ENT entrance	MAS masonry	SC solid core
CAB cabinet	EQ equal	MTL material	SEC section
CC construction contractor	EQP equipment	MAX maximum	SK skilight
CPT carpet	EX(S)T existing	MC, masonry opening	SC solid core
CLL contract limit line	FA fire alarm	MECH mechanical (al)	SPEC specification (s)
CLJ control joint	FA (fresh air)	MC, masonry opening	SP starting point
CLS ceiling	FD dimension to finish	MIN minimum	SS stainless steel
CM crown molding	FE fire extinguisher	MISG miscellaneous	STD standard
CMU concrete masonry unit	FHC fire hose cabinet	MRB marble	STL steel
COL column	FIN finish (al)	MLL mullion	SD storm drain
CONC concrete	FF finished floor	NIC not in contract	SYM symmetrical
CONSTR construction	FFE finished floor elevation (level)	NO number	TEL telephone
CONT continue	FLG flashing	NTS not to scale	TLG long 4 groove top of curb
CONTR contractor	FLL finished floor line	OC on center (s)	TBL top of slab
CRB cross grain	FLR floor	OPNS opening	TST top of steel
CUIN cubic inches	FLD floor drain	OUT outlet	TT top of finish
CUFT cubic foot	FLUOR, fluorescent	PLYMD plywood	TV top of wall
		PLGS plumbing	TTT terrazzo tile typical
		PLC plumbing	VB vinyl base verify in field
		PV power ventilator with cant	VS vent stack or pipe
		PT point	VT vinyl tile
		LB load bearing	UON unless otherwise noted
		PTN partition	NR water resistant
		GT quarry tile	

GENERAL NOTES

- THE GENERAL CONTRACTOR IS REQUIRED TO HAVE ALL SUBCONTRACTORS REVIEW THESE NOTES PRIOR TO BIDDING AND TO FOLLOW-UP AND EXECUTE AS WRITTEN.
- FOR CLARIFICATION PURPOSES, THE GENERAL CONTRACTOR, THE OWNER'S CONTRACTOR, AND THE CONTRACTOR ARE THE SAME PARTY. THE OWNER'S CONTRACTOR WILL BE REQUIRED TO HANDLE ALL WORK IN THESE DOCUMENTS UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL WORK MUST BE PERFORMED IN STRICT ACCORDANCE WITH ALL CODES, SUB-CODES AND BUILDING DEPARTMENTS HAVING JURISDICTION AND ALL MANAGEMENT, GENERAL CONTRACTOR TO CONTACT LOCAL BUILDING OFFICIALS FOR SPECIFIC REQUIREMENTS FOR THIS RESIDENTIAL USE.
- THIS SHEET IS PART OF AN ENTIRE SET OF DOCUMENTS WHICH CONSISTS OF SHEETS ALL INDICATED ON THE DRAWING LIST. THE OWNER'S CONSTRUCTION MANAGER IS RESPONSIBLE FOR ALL COORDINATION BETWEEN THE CONTRACTORS BASED ON THE ENTIRE SET OF DOCUMENTS. NO EXTRA COMPENSATION WILL BE GIVEN TO A BIDDER OR SUPPLIER WHO HAS BID FROM AN INCOMPLETE SET OF CONSTRUCTION DOCUMENTS. IN CASE OF INCONSISTENCIES OR DISCREPANCIES BETWEEN DRAWINGS THE MOST STRINGENT NOTE OR CONDITION SHALL APPLY AND THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH DISCREPANCIES.
- DO NOT SCALE THESE DRAWINGS.
- DO NOT ALTER THESE DRAWINGS IN ANY WAY WITHOUT WRITTEN AUTHORIZATION FROM ARCHITECT.
- IT IS THE RESPONSIBILITY OF THE OWNER'S CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS AND DIMENSIONS PRIOR TO STARTING CONSTRUCTION. CONDITIONS SHOWN ON THESE DOCUMENTS ARE BASED ON INFORMATION OBTAINED FROM SITE VISITS PRIOR TO DEMOLITION.
- THE GENERAL CONTRACTOR SHALL VISIT AND CAREFULLY EXAMINE THE AREAS AFFECTED BY THIS WORK TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND WITH THE DIFFICULTIES THAT WILL AFFECT THE EXECUTION OF THIS WORK. THE OWNER'S CONTRACTOR SHALL PERFORM THIS PRIOR TO SUBMITTING PROPOSAL. SUBMISSION OF PROPOSAL WILL BE CONSIDERED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE AND LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR, EQUIPMENT, OR MATERIALS REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD SUCH AN EXAMINATION BEEN MADE. THE OWNER'S CONTRACTOR SHALL NOTIFY PETER GISOLFI & ASSOCIATES OF ANY AND ALL DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS VERBALLY AND IN WRITING BEFORE PROCEEDING WITH WORK. FAILURE TO GIVE NOTICE WILL CAUSE THE OWNER'S CONTRACTOR TO BE HELD RESPONSIBLE FOR THE RESULTS OF SUCH ERRORS, DISCREPANCIES OR OMISSIONS AND THE COST OF RECTIFYING THE SAME.
- THE GENERAL CONTRACTOR SHALL HAVE AT ALL TIMES, AT THE PREMISES, OWNER APPROVED WORKING DRAWINGS (IF APPLICABLE) AND BUILDING DEPARTMENT APPROVED PERMIT DRAWINGS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CURRENT SET OF CONSTRUCTION DOCUMENTS ON SITE DURING CONSTRUCTION. THE OWNER'S CONTRACTOR SHALL INDICATE ON THESE PLANS ALL APPROVED CHANGES TO THE WORK DESCRIBED ON THESE DRAWINGS. THIS SHALL BE TURNED OVER TO THE OWNER WHEN THE PROJECT IS COMPLETE.
- THE GENERAL CONTRACTOR IS REQUIRED TO PROVIDE A LIST OF ALL SUBCONTRACTORS TO BE USED AND SUBMIT THIS LIST TO THE OWNER AND ARCHITECT WITHIN (10) WORKING DAYS OF CONTRACT AWARD.
- THE GENERAL CONTRACTOR IS TO ARRANGE WITH THE OWNER OF THE BUILDING, WHERE BUILDING EQUIPMENT AND MATERIALS ARE TO BE LOCATED AND HOW TRUCK TRAFFIC IS TO BE ROUTED TO AND FROM THE BUILDING. EACH CONTRACTOR AND SUBCONTRACTOR PARTICIPATING IN THE PERFORMANCE OF OWNER'S WORK SHALL MAKE APPROPRIATE ARRANGEMENTS WITH OWNER FOR THE DELIVERY OF MATERIAL AND SHALL OBTAIN APPROVAL FROM OWNER FOR ANY SPACE OUTSIDE OF THE WORK AREA (AS APPLICABLE) WHICH SUCH CONTRACTOR OR SUBCONTRACTOR DESIRES TO USE FOR STORAGE, HANDLING AND MOVING OF ITS MATERIALS AND EQUIPMENT AS WELL AS FOR THE LOCATION OF ANY FIELD OFFICE OR FACILITIES FOR ITS PERSONNEL USE.
- THE CONTRACTORS AND SUBCONTRACTORS PARTICIPATING IN THE PERFORMANCE OF THE OWNER'S WORK SHALL REMOVE AND DISPOSE OF AT LEAST ONCE A WEEK AND MORE FREQUENTLY AS OWNER MAY DIRECT, ALL DEBRIS AND RUBBISH CAUSED BY OR RESULTING FROM THE PERFORMANCE OF OWNER'S WORK UPON COMPLETION THEREOF, ALL TEMPORARY STRUCTURES, SURPLUS MATERIALS, DEBRIS AND RUBBISH OF WHATEVER KIND REMAINING ON THE PREMISES (AS APPLICABLE) WHICH HAD BEEN BROUGHT IN OR CREATED BY THE CONTRACTOR AND SUBCONTRACTORS IN THE PERFORMANCE OF THE OWNER'S WORK MUST BE REMOVED. THE GENERAL CONTRACTOR MUST MAINTAIN A CLEAR PATH OF EGRESS FROM THE PREMISES FREE FROM TRASH AND RUBBISH AT ALL TIMES.
- ALL REMOVAL OF CONSTRUCTION DEBRIS SHALL BE PLACED IN AN APPROVED DUMPING SITE TO BE INCLUDED IN THE GENERAL CONTRACTOR'S WORK.

GENERAL NOTES (CONTINUED)

- NO WOOD OR COMBUSTIBLE MATERIAL SHALL BE USED ABOVE THE SUSPENDED CEILING UNLESS NONCOMBUSTIBLE LUMBER IS USED AND IS SPECIFICALLY ALLOWED BY LOCAL BUILDING CODES. THE FIRE MARSHALL AND ALL AGENCIES HAVING JURISDICTION. IF FIRE RETARDANT TREATED WOOD IS REQUIRED FOR FIXTURING ITEMS, THE CONTRACTOR IS RESPONSIBLE FOR EXECUTING THIS WORK AS PER BUILDING OFFICIALS' REQUIREMENTS. THE WOOD MUST BEAR THE U.L. APPROVAL AND MILL STAMP INDICATING IT WAS PROPERLY TREATED.
- NO MATERIAL SUBSTITUTIONS WILL BE ALLOWED UNLESS SUBMITTED TO THE ARCHITECT FOR APPROVAL IN WRITING. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SUBMITTING (2) SAMPLES OF EACH SUBSTITUTION. NOTIFICATION OF INTENT TO MAKE SUBSTITUTIONS MUST BE SUBMITTED WITHIN (10) WORKING DAYS OF CONTRACT AWARD.
- THE GENERAL CONTRACTOR (ON BEHALF OF THE CLIENT) SHALL APPLY FOR OR SWITCH NAME FROM PRIOR OWNER (IF APPLICABLE) FOR ALL UTILITY METERS AND NOTIFY THE UTILITY COMPANY(S) OF THE NAME, ADDRESS AND PHONE NUMBER(S) OF THE CLIENT, FOR PERMANENT OR NEW SERVICE.
- THE GENERAL CONTRACTOR OR THE MILLWORK FIXTURE CONTRACTOR BASED ON THE SPECIFIC CONTRACTOR SUPPLYING THE MILLWORK OR FIXTURES IS TO PROVIDE SHOP DRAWINGS OF ALL MILLWORK AND FIXTURES, PRIOR TO START OF CONSTRUCTION, FOR APPROVAL BY THE OWNER'S ARCHITECT.
- THE GENERAL CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PREMISES TO BE ALTERED UNTIL COMPLETION AND ACCEPTANCE OF THE WORK. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS AND ASSUME RESPONSIBILITIES FOR ANY INJURIES OF PERSONS AND DAMAGE TO PROPERTY ON OR ADJACENT TO THE WORK UNDER THIS CONTRACT.
- THE STRUCTURAL SYSTEM OF THE BUILDING HAS BEEN DESIGNED TO CARRY A MAXIMUM LIVE LOAD AS SPECIFIED IN THE CONSTRUCTION DOCUMENTS. THE LOADING IMPOSED BY ANY OF THE OWNER'S WORK ON A TEMPORARY OR PERMANENT BASIS SHALL NOT EXCEED SUCH SPECIFIED LOADS.
- THE OWNER'S GENERAL CONTRACTOR SHALL VERIFY WITH THE OWNER ALL ITEMS BY OTHERS AND SHALL BE AVAILABLE TO RECEIVE DELIVERY AND ASSIST IN INSTALLATION OF ALL EQUIPMENT AND FIXTURES PROVIDED BY OWNER.
- OWNER'S CONTRACTOR TO CHECK IN AND VERIFY ALL SHIPMENTS OF OWNER FURNISHED MATERIALS. THIS INCLUDES OPENING ALL BOXES OF EACH SHIPMENT AND VERIFYING THEIR CONTENTS AGAINST PACKING LISTS AND THEN NOTIFYING OWNER OF ALL BACK ORDERS OR SHORTAGES WITHIN 48 HOURS OF RECEIVING SHIPMENT. IF THIS IS NOT DONE THE OWNER'S CONTRACTOR WILL BEAR THE COSTS OF ANY EXPEDITED FREIGHT CHARGES TO MEET CONSTRUCTION SCHEDULE.
- WORK SCHEDULED TO BE SUPPLIED BY OWNER, BUT INSTALLED UNDER THIS CONTRACT MEANS THAT APPLICABLE ITEMS WILL BE DELIVERED BY OWNER TO THE CONTRACTOR AT THE JOB SITE. THE SUBSEQUENT POSSESSION, PROTECTION, INSURANCE FOR A COMPLETE INSTALLATION OF THE AFFECTED ITEMS IS THE CONTRACTOR'S RESPONSIBILITY. REPORT IMMEDIATELY TO THE OWNER ANY DEFECT IN DELIVERED ITEMS.
- WORK SCHEDULED TO BE SUPPLIED AND INSTALLED BY OWNER'S VENDOR UNDER THIS CONTRACT MEANS THAT APPLICABLE ITEMS WILL BE DELIVERED AND INSTALLED AT THE JOBSITE UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR WILL BE REQUIRED TO PROTECT ALL NEUTRAL PIERS, OWNER'S AND ADJACENT OWNER CONSTRUCTION IF ADJACENT TO THIS OWNER'S WORK, AND MAKE ANY AND ALL REQUIRED REPAIRS TO THE SATISFACTION OF THE OWNER IF THIS WORK IS DAMAGED.
- ALL WOOD TO BE USED IN CONSTRUCTION SHALL BE IN COMPLIANCE WITH STATE AND LOCAL CODE AND REQUIREMENTS.
- THE GENERAL CONTRACTOR SHALL KEEP ALL HANDBOOKS, PAPERWORK, AND KEYS IN A MARKED ENVELOPE; ALL KEYS ARE TO BE TAGGED WITH PROPER LOCATIONS. THIS ENVELOPE SHOULD BE TURNED OVER TO THE OWNER REPRESENTATIVE WITH THE CERTIFICATE OF OCCUPANCY, LIEN WAIVERS, WARRANTIES, GUARANTEES, AND EQUIPMENT OPERATION MANUALS, INCLUDED WITH THIS INFORMATION IS TO BE A LIST OF ALL SUBCONTRACTORS WITH TELEPHONE NUMBERS.
- THE OWNER'S ARCHITECT, WITHOUT INVALIDATING THE CONTRACT, MAY ORDER EXTRA WORK, ALTER, ADD TO, OR DEDUCT FROM THE CONTRACT WORK. THE CONTRACT SUM SHALL BE ADJUSTED ACCORDINGLY, AND SUCH COSTS SHALL BE COMPETITIVE WITH LOCAL CONSTRUCTION COSTS.
- NO OWNER EXTRAS FOR COSTS CAN BE AUTHORIZED UNLESS APPROVED IN WRITING BY THE ARCHITECT. THE OWNER PROJECT MANAGER, OR THE OWNER, ANY ISSUANCE OF CREDITS TO BE CALCULATED BASED ON COMPETITIVE RATES AND EQUIPMENT COSTS APPROVED BY THE ARCHITECT, THE OWNER'S CONSTRUCTION REPRESENTATIVE FOR THE TENANT.
- IN THE EVENT OF ASBESTOS, GENERAL CONTRACTOR SHALL TAKE APPROPRIATE CONTINUOUS MEASURES TO PREVENT THE POTENTIAL HAZARD OF EXPOSURE TO AIRBORNE ASBESTOS. SUCH MEASURES SHALL FOLLOW THE PROCEDURES, METHODS AND REGULATIONS OF APPLICABLE FEDERAL, STATE AND LOCAL AGENCIES.
- ALL NEW WORK SHALL STRICTLY COMPLY WITH ALL APPLICABLE PROVISIONS OF THE LATEST EDITION OF THE TOWN OF CORTLANDT AND THE 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE.
- SHOULD ANY ELECTRICAL WORK BE REQUIRED, ALL SUCH WORK AND ELECTRICAL MATERIALS SHALL BE IN STRICT ACCORDANCE WITH THE 2011 NATIONAL ELECTRICAL CODE AND ALL AGENCIES HAVING JURISDICTION.
- ALL MATERIALS ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THE 2020 NYS RESIDENTIAL CODE.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF ANY OF THE PROPOSED WORK. CONTRACTOR SHALL STRICTLY COMPLY WITH ALL APPLICABLE PERMIT REQUIREMENTS OF THE TOWN OF CORTLANDT.
- THE CONTRACTOR SHALL ARRANGE FOR AND OBTAIN ALL REQUIRED INSPECTIONS FROM ALL GOVERNMENT AGENCIES HAVING JURISDICTION OR THEIR DESIGNATED REPRESENTATIVES, INCLUDING THOSE PRESCRIBED BY THE BUILDING CODE OF THE TOWN OF CORTLANDT AND ALL UNDERWRITERS AND AGENCIES HAVING JURISDICTION.

ENERGY CODE COMPLIANCE STATEMENT

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE

SMOKE/CARBON MONOXIDE DETECTION DEVICES

- ALL EXISTING SMOKE/CARBON MONOXIDE DETECTION DEVICES TO REMAIN IN PLACE.

SAFETY REQUIREMENTS

- THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
- EGRESS: CONSTRUCTION OPERATIONS SHALL NOT BLOCK ROADWAYS OR OTHER MEANS OF EGRESS OR ACCESS TO THE SITE OF ALL WORKERS OR OCCUPANTS.
 - FIRE SAFETY: CONSTRUCTION AND DEMOLITION OPERATIONS SHALL STRICTLY OBSERVE ALL APPLICABLE LAWS AND CONTROLS, IN REGARD TO FIRE SAFETY, INCLUDING THOSE WITH RESPECT TO FIRE SAFETY. ALL CONTRACTORS SHALL UNDERTAKE ADDITIONAL FIRE SAFETY MEASURES, WHERE APPROPRIATE TO THE NATURE OF THE WORK BEING PERFORMED, SUCH MEASURES DURING CONSTRUCTION MAY INCLUDE, BUT NOT BE LIMITED TO:
 - MAINTAIN EXISTING SMOKE/CO DETECTORS IN WORKING ORDER OR INSTALL TEMPORARY DEVICES;
 - PROVIDE FIRE EXTINGUISHERS ON SITE;
 - MAINTAIN THE INTEGRITY OF ALL EXISTING FIRE RATED ASSEMBLIES OR PROVIDE TEMPORARY EQUIVALENTS;
 - AND STORE ALL FLAMMABLE CONSTRUCTION MATERIALS IN SEALED CONTAINERS.
 - HEALTH REQUIREMENTS: CONSTRUCTION WORK SHALL BE CONFINED TO THE EXTERIOR OF THE BUILDING. THE CONTRACTOR SHALL UNDERTAKE ALL ACTIONS NECESSARY TO MINIMIZE DUST, DIRT OR OTHER SUCH INCONVENIENCES TO THE SURROUNDING AREA. SUCH MEASURES MAY INCLUDE, BUT NOT BE LIMITED TO, INSTALLATION OF AIR SEALS AN DOORS TO THE INTERIOR TEMPORARY DUST BARRIERS, TIMELY AND ORDERLY REMOVAL OF CONSTRUCTION DEBRIS AND THE DAILY REMOVAL OF FOOD STUFFS. NO REMOVAL OF ASBESTOS OR LEAD PAINT IS ANTICIPATED UNDER THIS APPLICATION. SHOULD SUCH WORK BECOME REQUIRED, IT SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL APPLICABLE REGULATIONS DEPARTMENT AND ANY OTHER AGENCY HAVING JURISDICTION. CONSTRUCTION OPERATION SHALL NOT INVOLVE INTERRUPTION OF HEATING WATER OR ELECTRICAL SERVICES TO THE BUILDING WITHOUT PRIOR ARRANGEMENT, IN A MANNER PRESCRIBED BY THE INDUSTRY STANDARDS.
 - STRUCTURAL SAFETY: ALL REQUIRED WORK SHALL BE PERFORMED IN A MANNER THAT WILL NOT ENDANGER THE WORKERS WITHIN THE BUILDING. THE CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING WHEREVER ANY STRUCTURAL WORK IS INVOLVED.

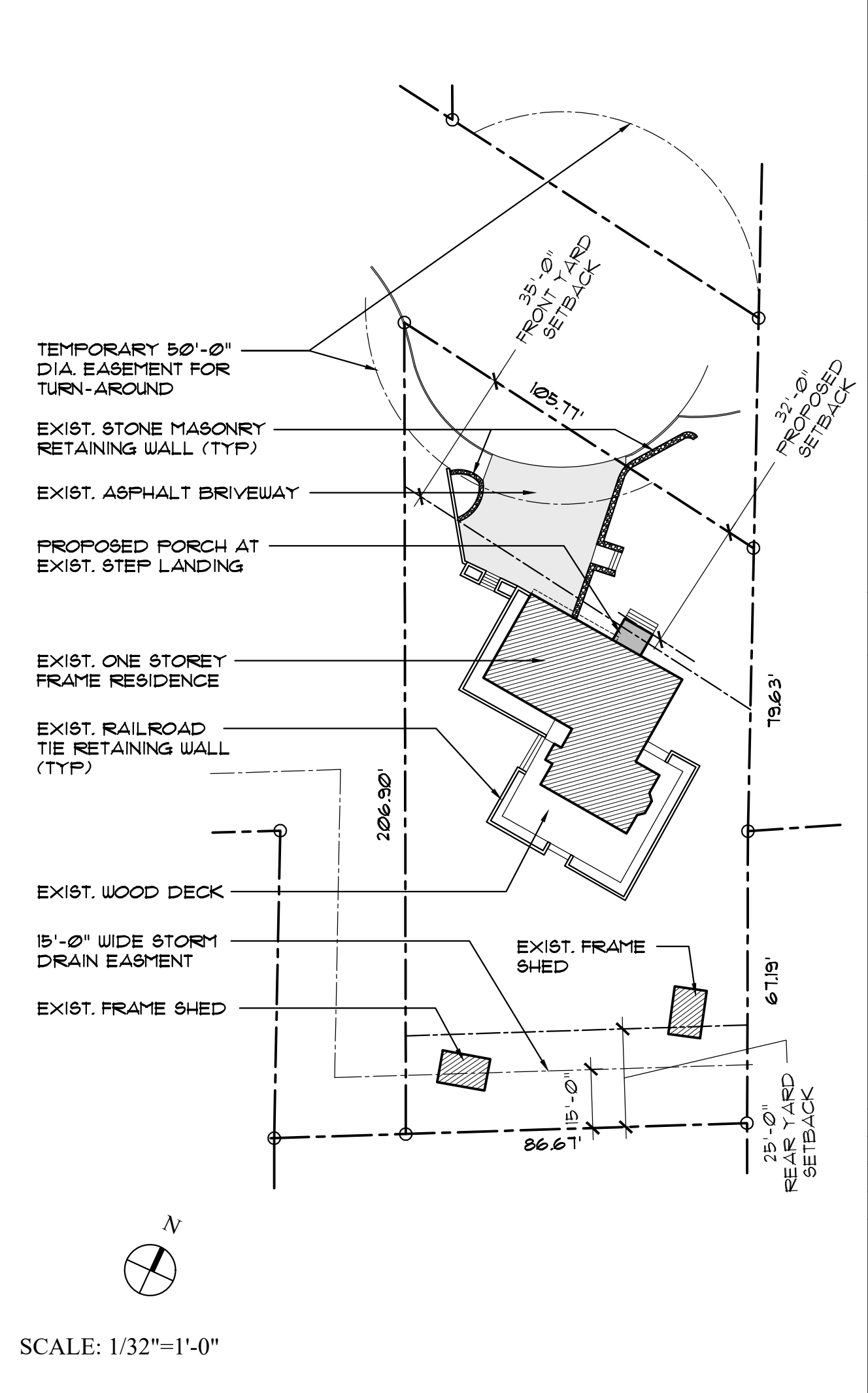
DEMOLITION NOTES

- ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING DEBRIS AS WORK IS PROGRESSING. LOCATION OF DUMPSTER SHALL BE COORDINATED WITH OWNER.
- ALL CONTRACTORS SHALL PROTECT ADJACENT SPACES FROM DAMAGE AT ALL TIMES DURING DEMOLITION.
- SEPARATION OF DEMOLITION AREAS FROM OCCUPIED SPACES. DEMOLITION AREAS WHICH ARE UNDER CONTROL OF A CONTRACTOR AND THEREFORE NOT OCCUPIED BY STAFF OR OCCUPANTS SHALL BE SEPARATED FROM OCCUPIED AREAS. PROVISIONS SHALL BE MADE TO PREVENT THE PASSAGE OF DUST AND CONTAMINANTS. GYPSUM BOARD MUST BE USED IN EXIT WAYS OR OTHER AREAS THAT REQUIRE FIRE RATED SEPARATION HEAVY DUTY PLASTIC SHEETING MAY BE USED ONLY FOR A VAPOR FINE DUST OR AIR INFILTRATION BARRIER, AND SHALL NOT BE USED TO SEPARATE OCCUPIED SPACES FROM DEMOLITION AREAS.
- SURFACES THAT WILL BE DISTURBED BY DEMOLITION MUST HAVE A DETERMINATION MADE AS TO THE PRESENCE OF LEAD. PROJECT WHICH DISTURBS SURFACES THAT CONTAIN LEAD SHALL HAVE IN THE SPECIFICATIONS A PLAN PREPARED BY A CERTIFIED LEAD RISK ASSESSOR OR SUPERVISOR WHICH DETAILS PROVISIONS FOR OCCUPANT PROTECTION SITE WORK METHODS, PREPARATION, CLEANING AND CLEARANCE TESTING WHICH ARE IN GENERAL ACCORDANCE WITH THE HUD GUIDELINES.
 - SPECIFIC STAIRWELL AND/OR ELEVATOR SHOULD BE ASSIGNED FOR CONSTRUCTION WORKER USED DURING WORK HOURS. IN GENERAL, WORKERS MAY NOT USE CORRIDORS, STAIRS OR ELEVATORS DESIGNATED FOR STAFF OR OCCUPANTS.
 - LARGE AMOUNTS OF DEBRIS MUST BE REMOVED BY USING ENCLOSED CHUTES OR A SIMILAR SYSTEM. THERE SHALL BE NO MOVEMENT OF DEBRIS THROUGH THE HALLS OF OCCUPIED SPACES OF BUILDING. NO MATERIAL SHALL BE DROPPED OR THROWN OUTSIDE THE WALLS OF THE BUILDING.
 - ALL OCCUPIED PARTS OF THE BUILDING AFFECTED BY RENOVATION ACTIVITY SHALL BE CLEANED AT THE CLOSE OF EACH WORKDAY. BUILDING OCCUPIED DURING CONSTRUCTION PROJECT SHALL MAINTAIN REQUIRED HEALTH AND SAFETY CAPABILITIES AT ALL TIMES.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL ACTIVITIES, ACTIONS, SUPERVISION AND CONTROL RELATED TO THE DEMOLITION OF ANY AND ALL PORTIONS OF THE EXISTING BUILDING.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE INTEGRITY OF THE EXISTING STRUCTURE BEFORE DEMOLISHING ANY WALLS, FLOORS, CEILINGS AND/OR ROOFING.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR IDENTIFYING ANY LOAD-BEARING WALLS PRIOR TO DEMOLITION, AND FOR PROVIDING REINFORCEMENT OR SUPPORT BEFORE DEMOLITION, SAW-CUTTING OR OTHER OPERATIONS BEGIN.
 - THE INSTALLATION, USE AND REMOVAL OF SHORING, REINFORCEMENT, AND/OR TEMPORARY SUPPORTS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - IT IS UNDERSTOOD THAT THE ARCHITECT HAS NO RESPONSIBILITY WHATSOEVER FOR THE CONTRACTOR'S DEMOLITION OPERATIONS INCLUDING BUT NOT LIMITED TO SEQUENCE OF OPERATIONS, MEANS, METHODS, SUPERVISION, OR CONTROL.
 - ANY INJURIES RESULTING FROM THE CONTRACTOR'S DEMOLITION OPERATIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

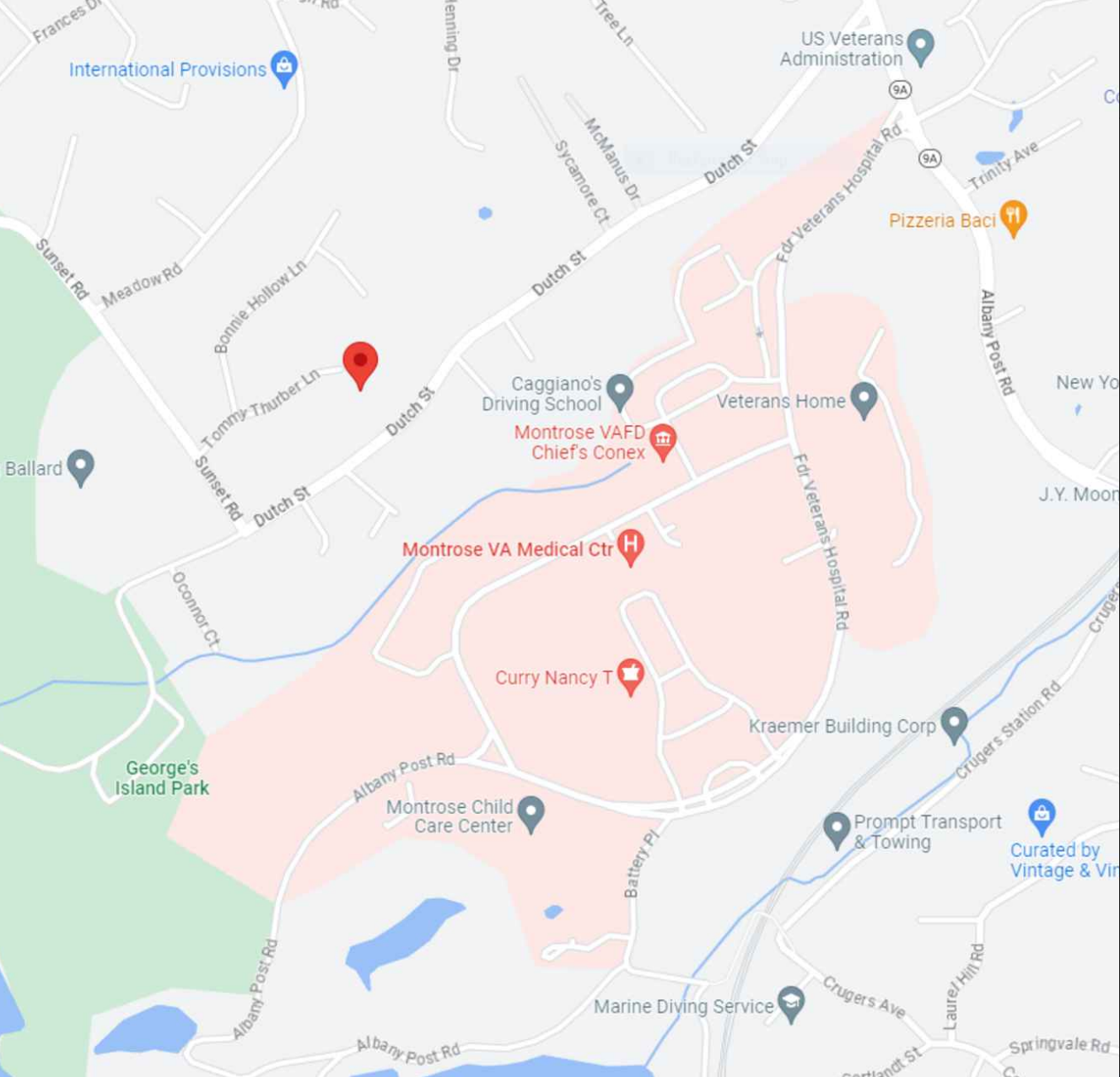
WARNING!

IT IS A VIOLATION OF LAW FOR ANY PERSON TO ALTER ANY ITEM OF THESE CONTRACT DOCUMENTS, INCLUSIVE OF DRAWINGS, SPECIFICATIONS AND REPORTS, IN ANY WAY UNLESS HE IS ACTING UNDER DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, ENGINEER OR LAND SURVEYOR. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT, ENGINEER, OR LAND SURVEYOR IS ALTERED, THE ALTERING ARCHITECT, ENGINEER, OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SITE PLAN



LOCATION



ZONING

PROPERTY ADDRESS: 13 TOMMY THURBER LANE
MONTROSE, NY 10548

MAPS AS: SECTION 54.16,
BLOCK 1, LOT 14

ZONE: SINGLE-FAMILY R-15

ZONING REQUIREMENTS		
	MIN. REQUIRED	ACTUAL
LOT AREA:	15,000 s.f.	15,481,362 s.f.
LOT WIDTH:	80'-0"	86'-8"
MAX. BLDG. HT	2 1/2 STORIES OR 35'-0" FT	ONE STOREY

MINIMUM YARD (PRINCIPAL STRUCTURE)

FRONT YARD: 35'-0"
SIDE YARD:
REAR YARD: 25'-0"

LIST OF DRAWINGS

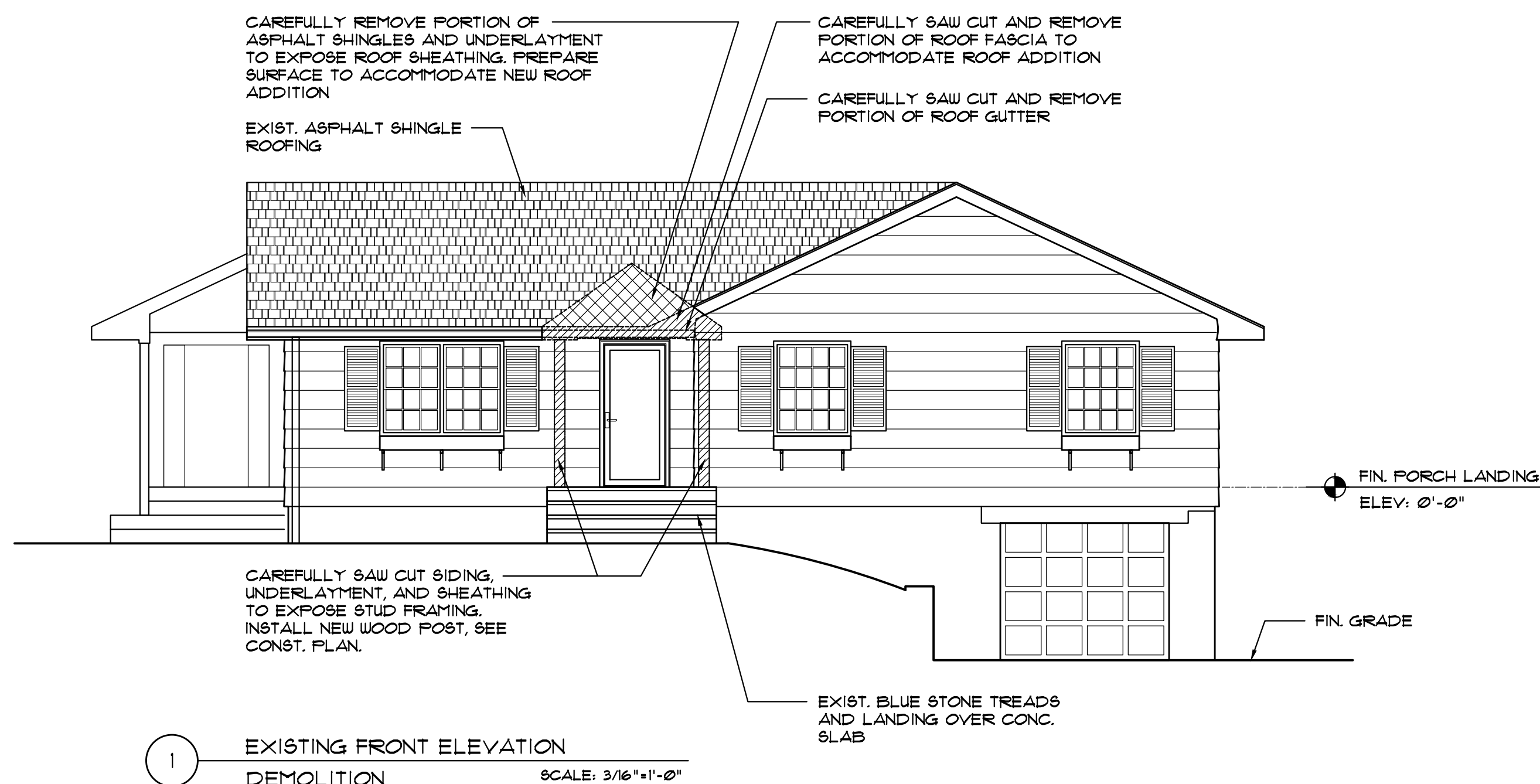
ARCHITECTURAL:	
A-T	TITLE SHEET
A-100	PLANS & ELEVATIONS
A-101	DETAIL PLANS & SECTIONS
2	02/12/2024 ISSUED FOR BUILDING DEPARTMENT APPROVAL
1	08/01/2023 ISSUED FOR BUILDING DEPARTMENT APPROVAL
No.	Date Revision
DOB APPLICATION NUMBER:	A-23-304

Architect
PETER GISOLFI ASSOCIATES
Architects - Landscape Architects, LLP
566 Warburton Avenue, Hastings-on-Hudson, NY 10706
Phone: (914) 478-3677 - Fax: (914) 478-1600

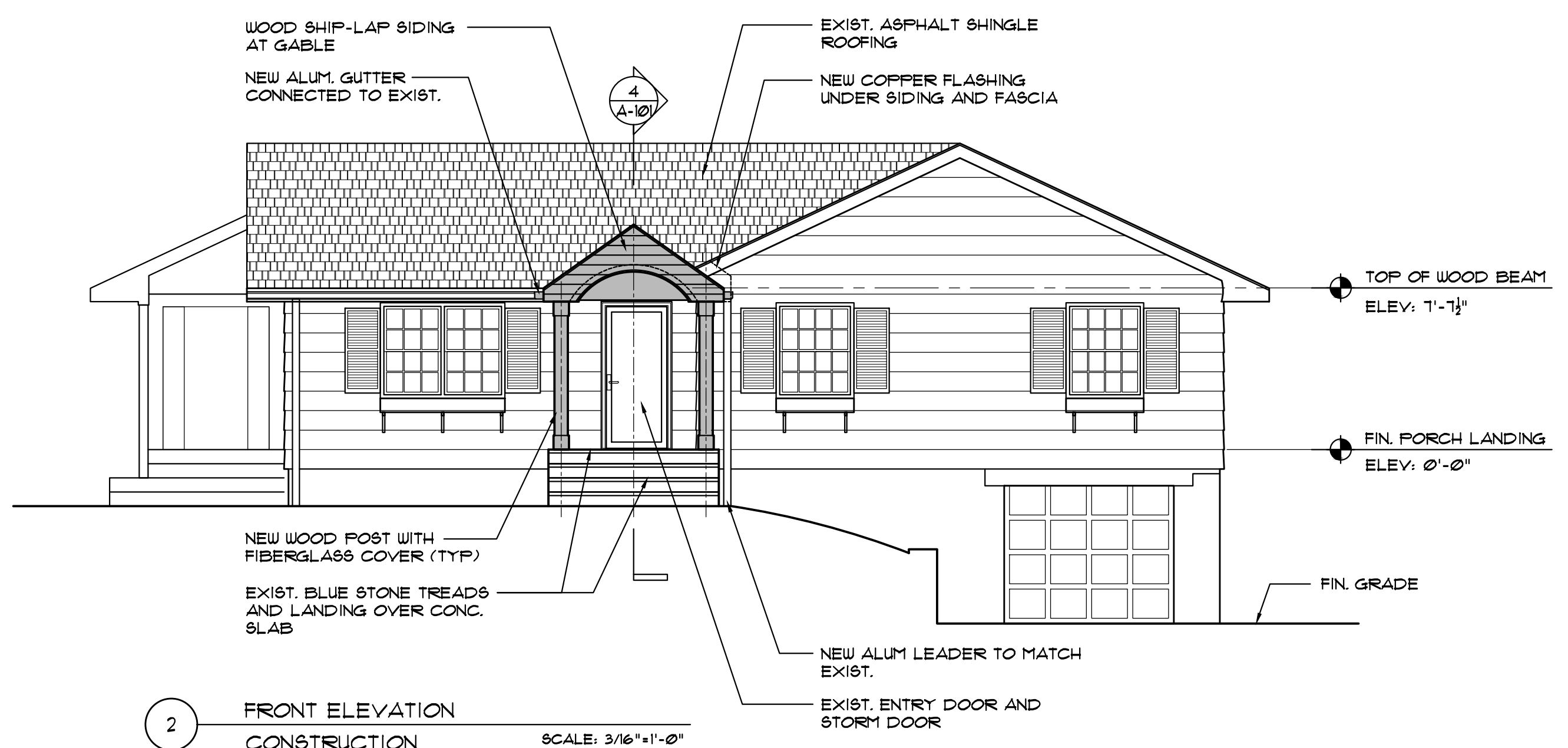
Project Title
DADDIO-DURAS RESIDENCE
13 TOMMY THURBER LANE
MONTROSE, NY 10548

PORCH ADDITION TITLE SHEET

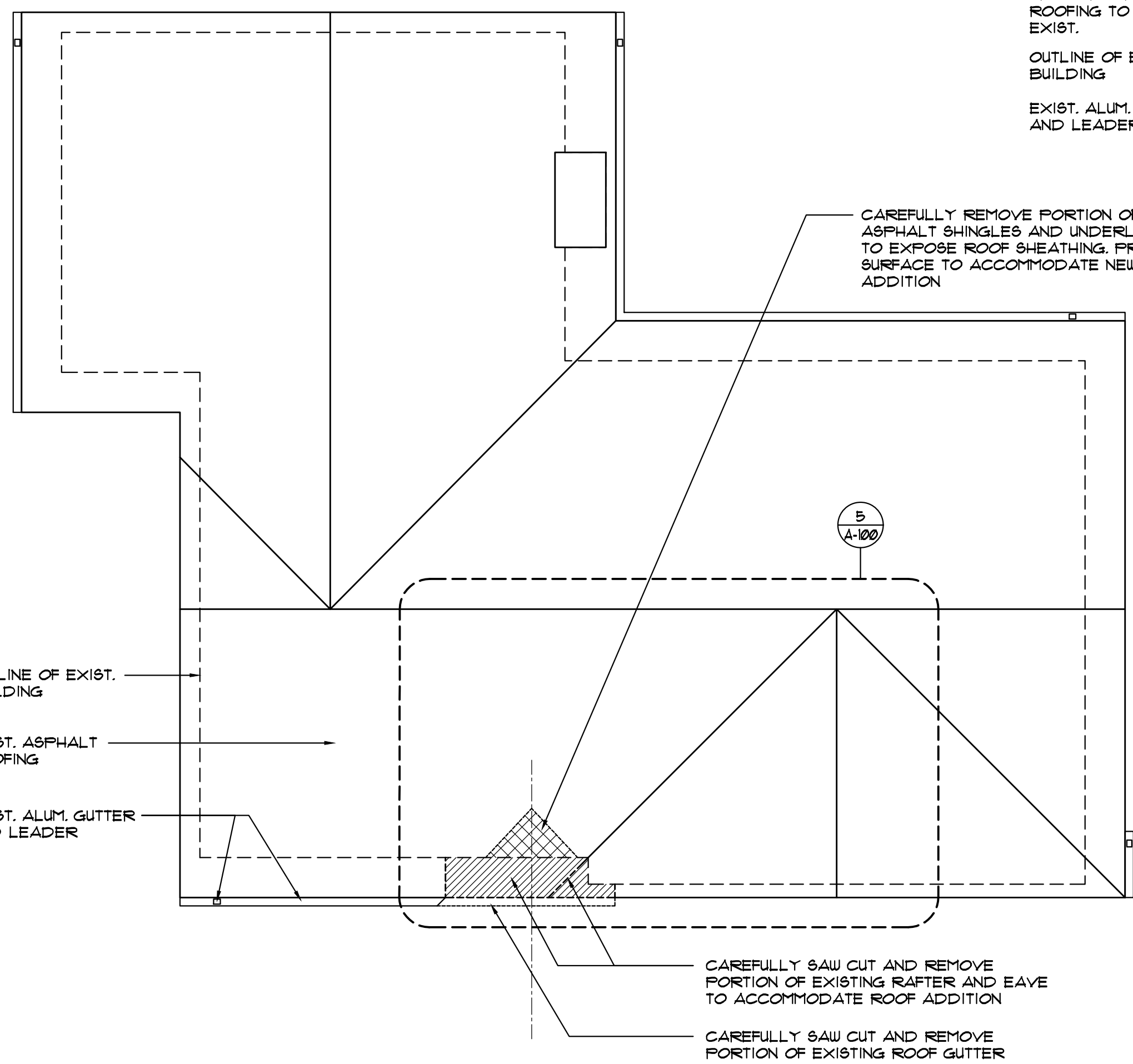
Date:	06/21/2023
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DRAWN BY:	CS
CHK BY:	MT
DWG No:	
A-T	
CADD FILE No:	000



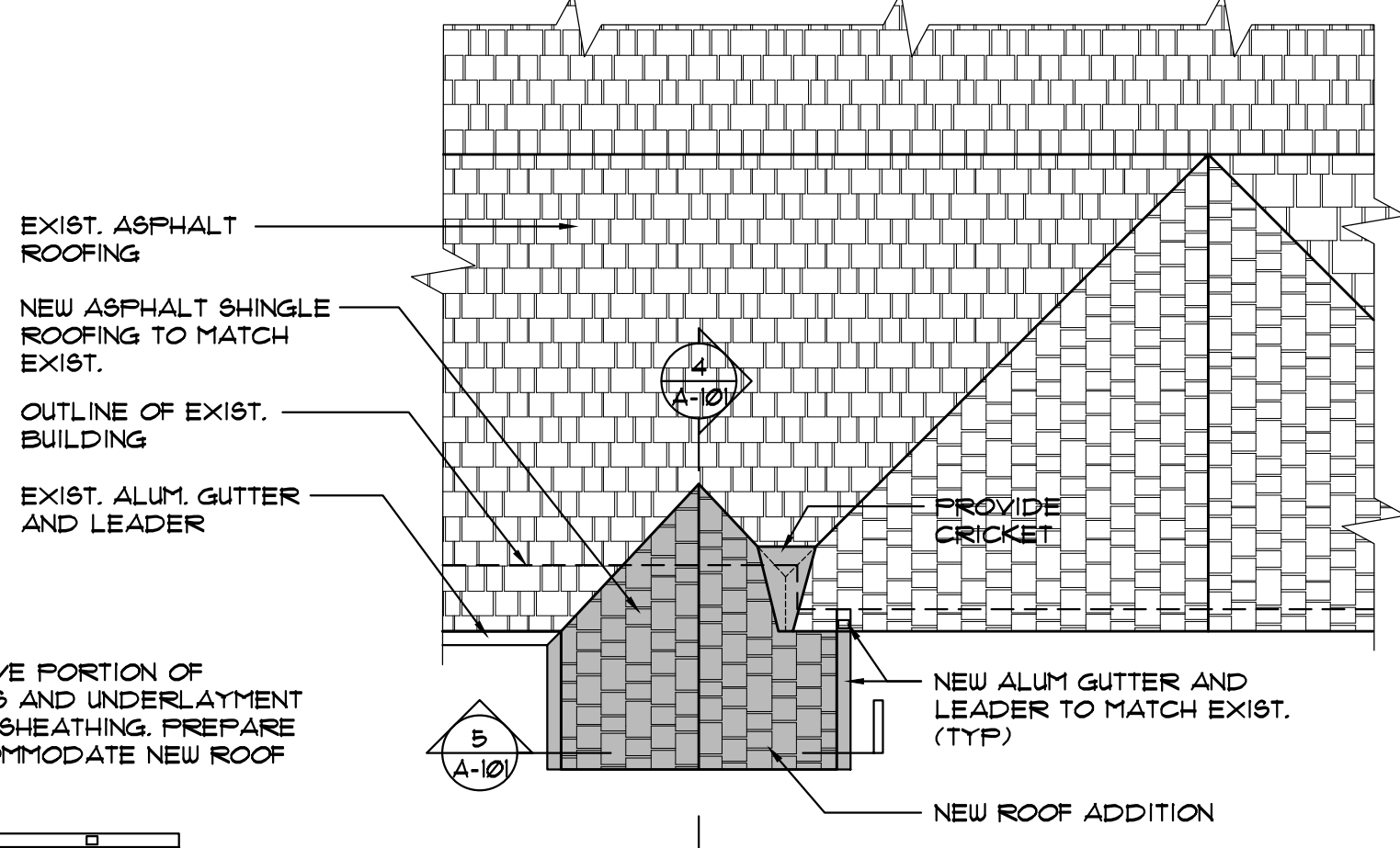
1 EXISTING FRONT ELEVATION DEMOLITION SCALE: 3/16"=1'-0"



2 FRONT ELEVATION CONSTRUCTION SCALE: 3/16"=1'-0"



3 ROOF PLAN DEMOLITION SCALE: 3/16"=1'-0"



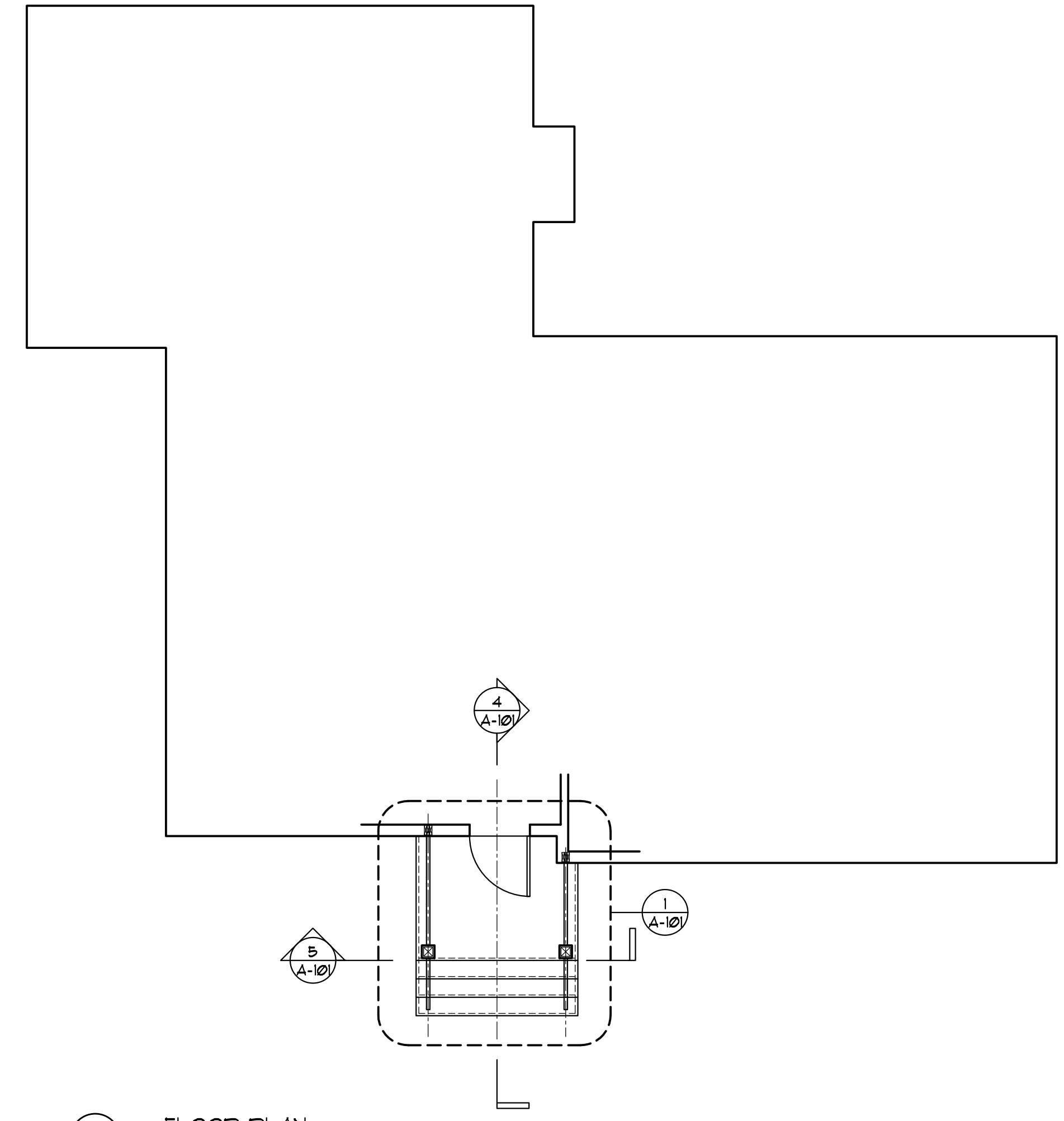
5 PARTIAL ROOF PLAN CONSTRUCTION SCALE: 3/16"=1'-0"

NOTE TO CONTRACTOR:

TO CONFIRM THE EXISTING SLAB ON GRADE AND FOUNDATION OF THE EXISTING ENTRY LANDING IS STRUCTURALLY ADEQUATE TO SUPPORT THE PROPOSED PORCH, THE CONTRACTOR SHALL PERFORM THE FOLLOWING TASKS, AND INFORM THE ARCHITECT IMMEDIATELY FOR INSPECTION:

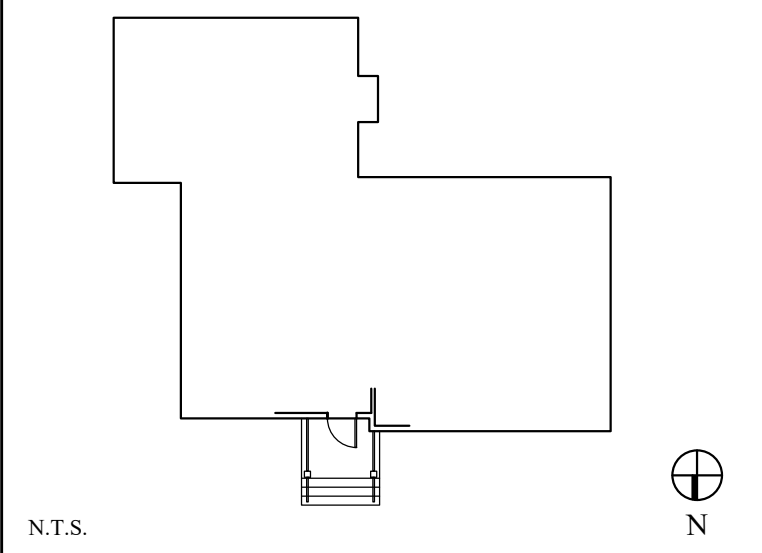
- CAREFULLY REMOVE BLUE STONES AT PERIMETER OF PORCH LANDING TO EXPOSE CONCRETE SLAB. PROBE SLAB TO CONFIRM THICKNESS. SAVE BLUE STONES FOR RE-INSTALLATION.
- EXCAVATE AT ONE SIDE OF FOUNDATION WALL TO EXPOSE AND CONFIRM DEPTH OF FOUNDATION WALL AND FOOTING.

THE ARCHITECT SHALL CONFIRM THE EXISTING FOUNDATION WALL AND FOOTING, AND PROPOSED POST CONNECTION DETAIL IS APPROVED FOR CONSTRUCTION PRIOR TO ANY CONSTRUCTION WORK PROCEEDING.



4 FLOOR PLAN CONSTRUCTION SCALE: 3/16"=1'-0"

KEY PLAN



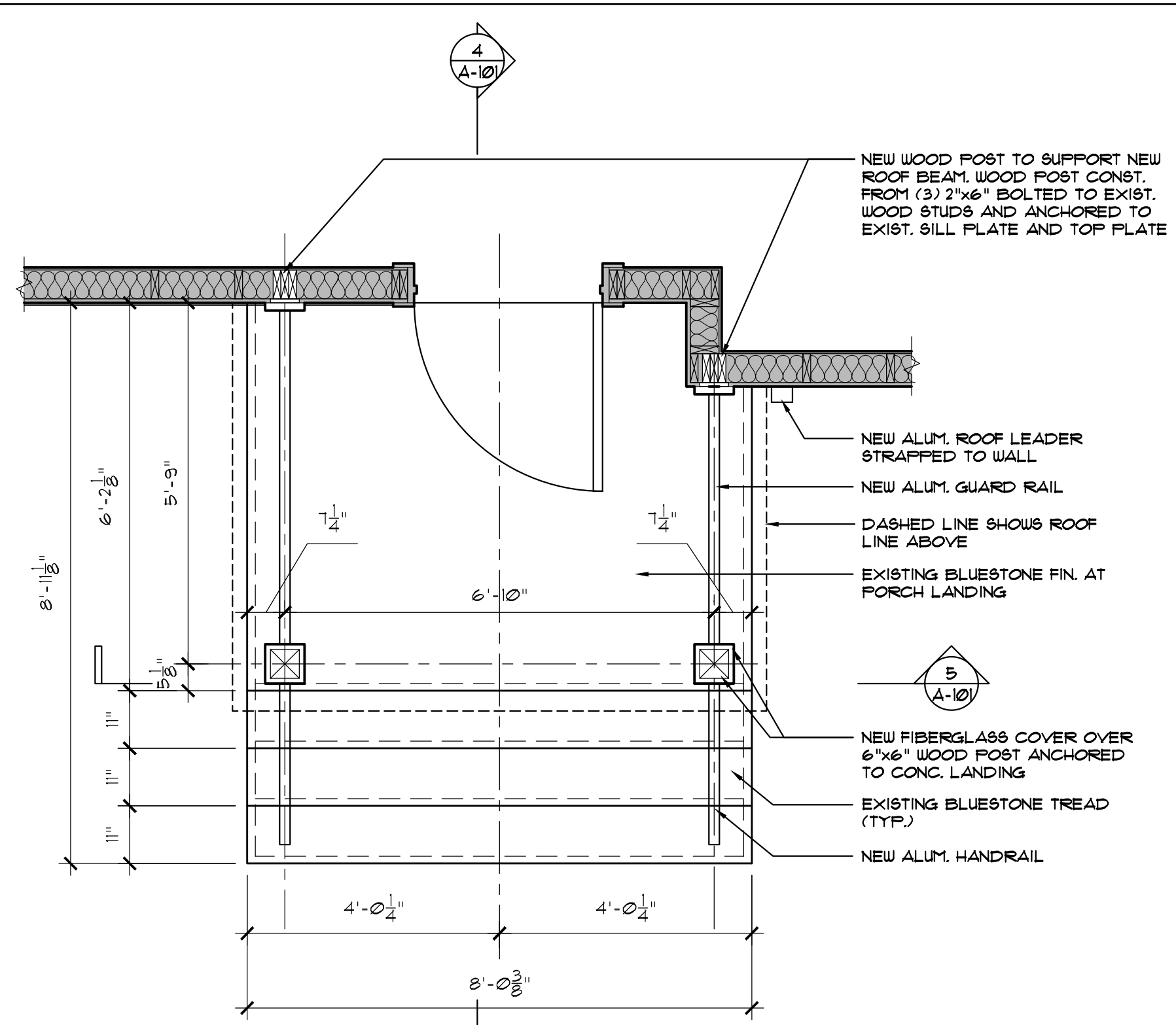
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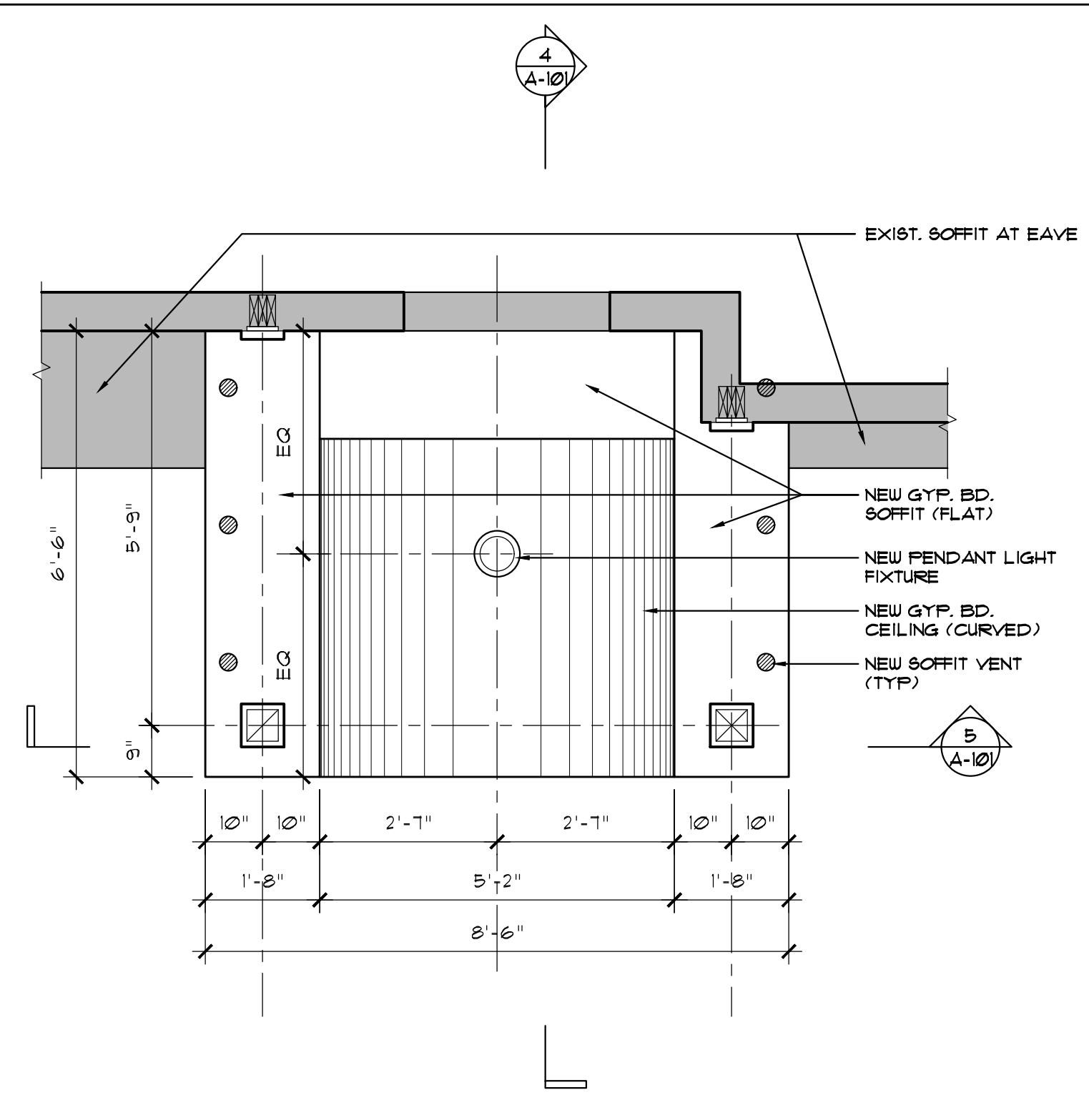
Project Title
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 MONTROSE, NY 10548

Drawing Title
**PORCH ADDITION
 PLANS & ELEVATIONS**

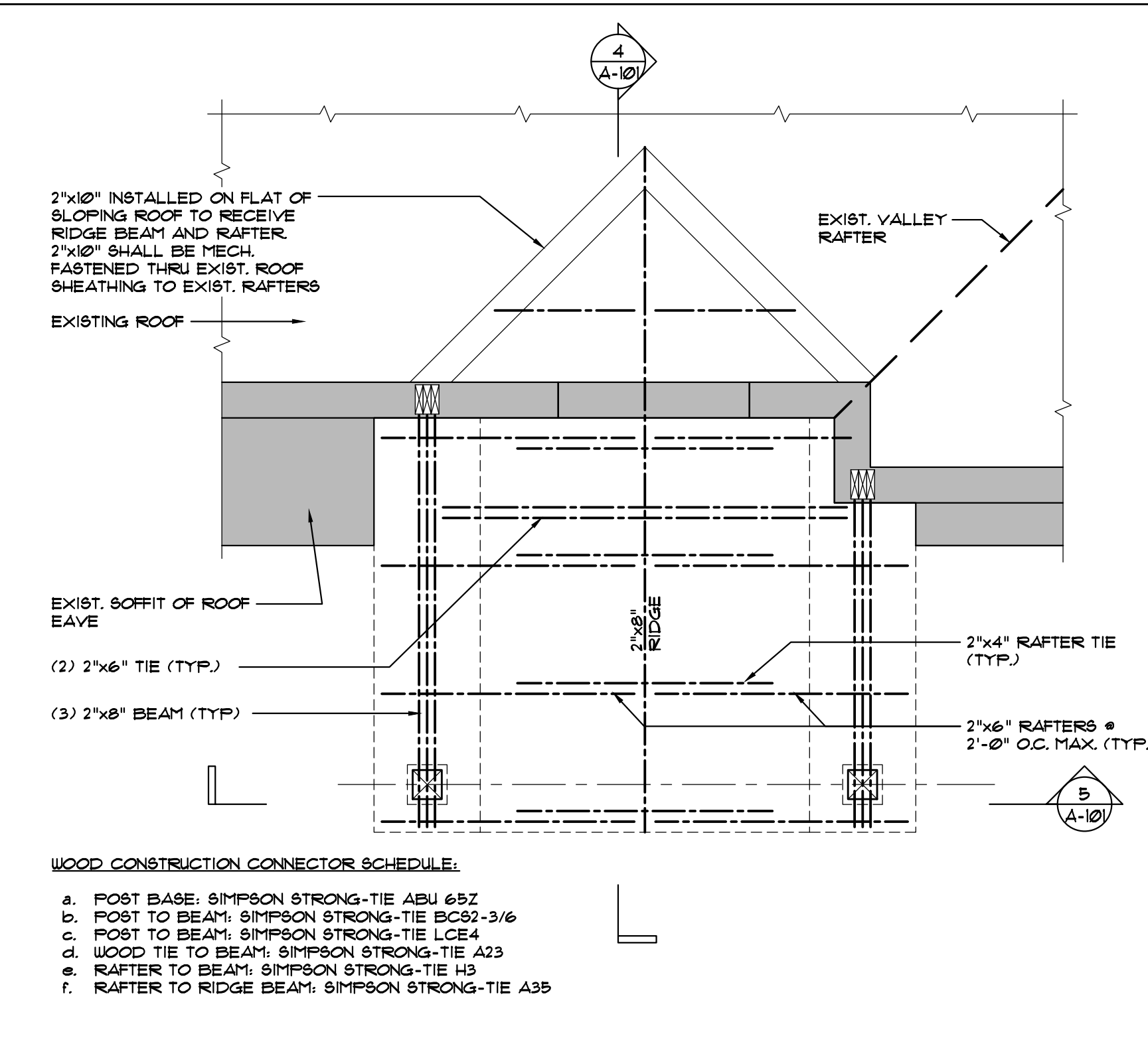
	Date:	06/21/2023
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CADD FILE No:		000



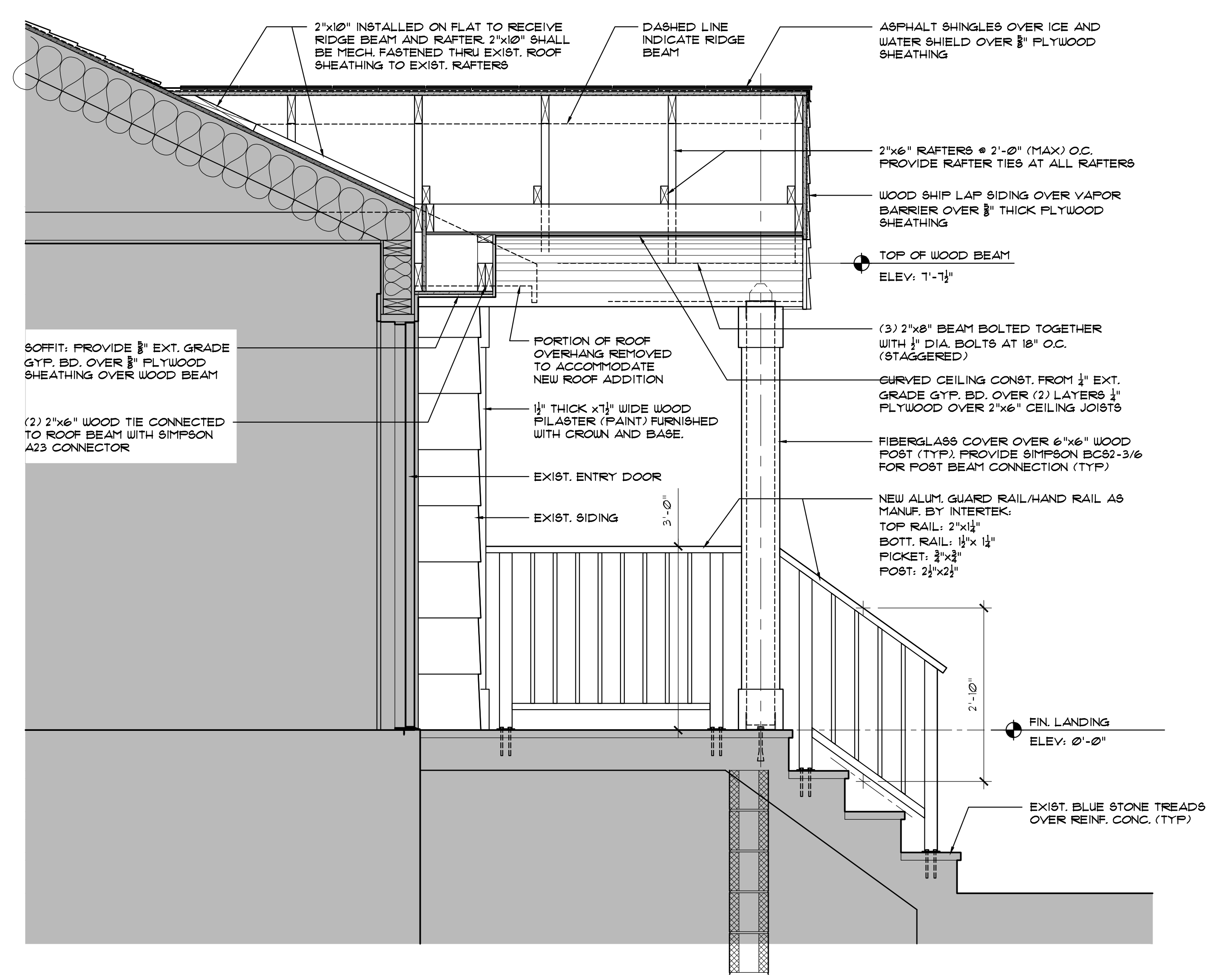
1 PLAN OF PORCH
SCALE: 1/2"=1'-0"



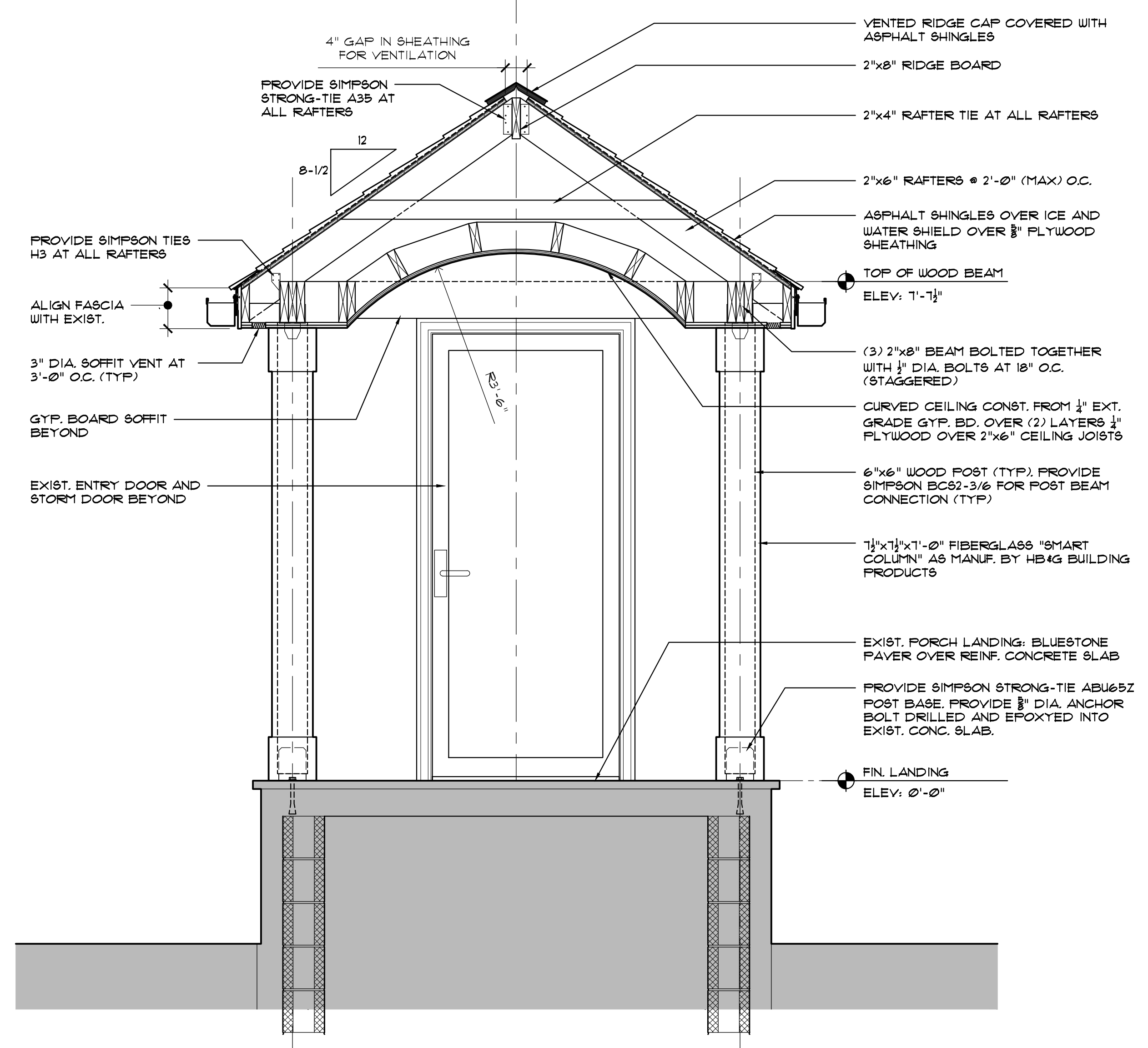
2 REFLECTED CEILING PLAN OF PORCH
SCALE: 1/2"=1'-0"



3 ROOF FRAMING PLAN
SCALE: 1/2"=1'-0"

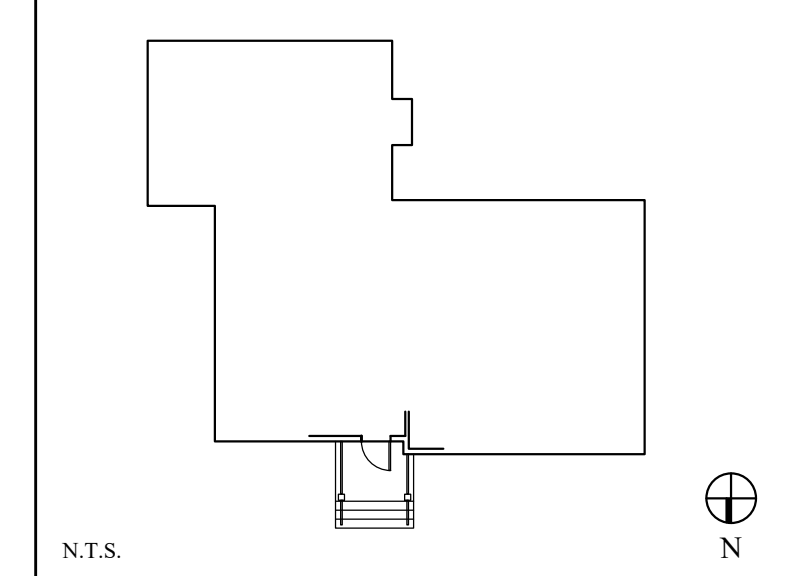


4 SECTION THROUGH PORCH
SCALE: 3/4"=1'-0"



5 SECTION THROUGH PORCH
SCALE: 3/4"=1'-0"

KEY PLAN



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Drawing Title
**PORCH ADDITION
 DETAIL PLANS & SECTIONS**

	Date:	06/21/2023
	PROJECT No:	
	DRAWN BY:	CS
	CHK BY:	MT
	DWG No:	
		A-101
	CADD FILE No:	000

David and Jennifer Strang
1 Tommy Thurber Lane
Montrose, NY 10548

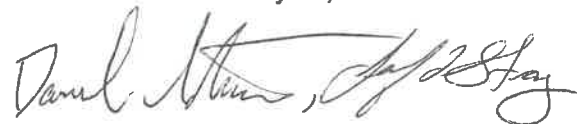
Town of Cortlandt
Department of Planning & Community Development
1 Heady St.
Cortlandt Manor, NY 10567

April 8, 2024

To Whom It May Concern:

Our names are David and Jennifer Strang. We live at 1 Tommy Thurber Lane, in Montrose. We are neighbors of Joe Duraes and Jennifer Dadio, and are aware that they want to add a portico on their front steps. We are writing to let you know that we support this project. Joe and Jennifer's home is always kept up beautifully, and we know that this project will enhance their home and the curb appeal of our street. We hope that you will approve their proposal.

Thank you,

A handwritten signature in black ink, appearing to read "David Strang, Jennifer Strang". The signature is written in a cursive style with a large initial 'D' and 'J'.

David and Jennifer Strang

3 Tommy Thurber Lane
Montrose, New York 10548

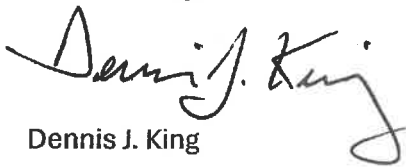
Town of Cortlandt
Department of Planning & Community Development
1 Heady Street
Cortlandt Manor, New York 10567

3 April 2024

To Whom It May Concern:

I am a neighbor of Jennifer Dadio and Joe Duraes. I live at 3 Tommy Thurber Lane, just 5 houses down the street from Jennifer and Joe. I fully support and approve their building a portico on the front of their property. I think it will greatly enhance the beauty and attraction of their home.

With best regards,

A handwritten signature in black ink that reads "Dennis J. King". The signature is written in a cursive style with a large, sweeping "D" and "K".

Dennis J. King

4/3/24-

To whom it may concern,

My name is Carlos Casuriaga

I live next to Joe Doraes and Jennifer Dadio at 15 Tommy Thorber Ln. Montrose NY 10548..

I would like to communicate my support for them constructing a portico at the front entrance.. I believe it will be a big improvement to their home. I also think it would add a great touch to neighborhood as a whole.-

Sincerely

