

Steven Kessler Chairperson

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David Douglas Nora Hildinger Kevin Kobasa Peter McKinley Jeff Rothfeder

# TOWN OF CORTLANDT PLANNING BOARD

Town Hall, 1 Heady Street Cortlandt Manor, NY 10567 Main #: 914-734-1080 Fax #: 914-788-0294

Planning Staff email: chrisk@townofcortlandt.com Town Supervisor Richard H. Becker, MD

**Town Board** James F. Creighton Cristin Jacoby Robert Mayes Joyce C. White

## TO JOIN THE MEETING REMOTELY USE THE ZOOM LINK BELOW:

https://us02web.zoom.us/j/81421999492?pwd=eC9MOWRWU1ISUHZmVUUxZzlkY2hzUT09

WORK SESSION......<u>NOVEMBER 7, 2024 6:00 PM</u>

1. Discuss November 7, 2024 Regular Planning Board Meeting Agenda.

MEETING AGENDA.....<u>PLANNING BOARD</u> <u>TOWN OF CORTLANDT</u> <u>6:30 THURSDAY EVENING\*</u> NOVEMBER 7, 2024

### 1. <u>PLEDGE TO THE FLAG</u>

- 2. <u>ROLL CALL</u>
- 3. CHANGES TO THE AGENDA BY MAJORITY VOTE

### 4. ADOPTION OF THE MINUTES OF THE MEETING OF OCTOBER 1, 2024

### 5. CORRESPONDENCE

- **PB 2023-5 a.** Letter dated September 20, 2024 from David Steinmetz, Esq. requesting the 3<sup>rd</sup>, 90-day time extension of Final Plat Approval for the <u>Evergreen Subdivision</u> located at 2003 Crompond Road.
- **PB 2023-2 b.** Letter dated October 2, 2024 requesting the 1<sup>st</sup>, one-year time extension of Amended Site Plan approval for an addition to an existing dental office for <u>JJM Summit Realty</u>, <u>LLC</u> for property located at 1 Jerome Drive.
- **PB 2021-1** c. Letter dated October 9, 2024 from David Steinmetz, Esq. requesting the 3<sup>rd</sup>, one-year time extension of Site Development Plan approval for <u>NRP Properties</u>, <u>LLC</u> located at 119 Oregon Rd.

#### 6. <u>PUBLIC HEARINGS (ADJOURNED FROM PREVIOUS MEETING)</u>

- **PB 2024-1 a.** Public Hearing: Application of <u>KPB Properties LLC</u> for Site Development Plan approval and a referral from the Town Board of a Petition for a Zoning Text Amendment for a proposed 4-story, 75,000 sq. ft. self-storage facility located at 3 Locust Avenue. Drawings latest revised September 24, 2024.
- PB 2024-3b.Public Hearing: Application of Briga Enterprises Inc. & Bilotta Realty of Westchester<br/>Inc. for Amended Site Plan approval for a 2,400 sq. ft. storage building located at 2099<br/>Albany Post Rd. Drawings dated March 11, 2024. (see prior PBs 29-95, 15-99, 8-03)

#### 7. <u>NEW PUBLIC HEARING</u>

**PB 2024-5 a.** Public Hearing: Application of <u>Elrac LLC</u>, <u>dba Enterprise Rent-a-Car</u>, for Amended Site Plan Approval for the removal of an existing carport and the construction of an 875 sq. ft. enclosed wash bay at the Enterprise Rental Car Center located at 2077 East Main St. (Cortlandt Boulevard). Drawings dated September 24, 2024. (see prior PB 15-95)

#### 8. <u>OLD BUSINESS</u>

**PB 2024-6 a.** Application of <u>Richard Williams, P.E., on behalf of JAM Storage, LLC, for the property</u> of Francisco Portillo, for Site Plan Approval and a Wetland Permit for the construction of an approximately 60,000 sq. ft. self-storage facility and related site improvements for property located at 2059 Albany Post Rd. Drawings latest revised dated October 24, 2024.

#### 9. <u>NEW BUSINESS</u>

- **PB 2024-7 a**. Application of <u>Yeshiva Ohr Hameir</u> for the renewal of a Special Permit for a University, College or Seminary for property located at 141 Furnace Woods Road as described in a letter dated October 10, 2024 from David Steinmetz, Esq. (see prior PB's 7-09, 1-13, 12-15 & 2018-27, & 2021-6)
- PB 2024-8 b. Application of Lucio Di Leo, R.A., for the property of Mario & Wilson Alvarez, for Amended Site Plan approval and for a Special Permit for a Specialty Trade Electrical Contractor for property located at 1201 Oregon Rd. Drawings dated August 16, 2023. (see prior PB 8-82)

### 10. <u>ADJOURNMENT</u>

### <u>Next Regular Meeting; TUESDAY, DECEMBER 3, 2024 at 6:30 PM</u> <u>Agenda information is also available at www.townofcortlandt.com</u>

\* Regular meeting will begin at the conclusion of the work session



David S. Steinmetz david@zarin-steinmetz.com Also admitted in DC

September 20, 2024

Via Town's Online Application Portal (ID No. PBCK-23-13)

Hon. Steven KesslerChairperson of the Town of Cortlandt Planning Board and Members of the Planning Board1 Heady StreetCortlandt Manor, New York 10567

#### Re: Evergreen Manor Application for Preliminary and Final Subdivision – extension request 2003 Crompond Road, Section 33.12 Block 2 Lots 1, 7 & 8 (the "Property")

Dear Chairperson Kessler and Members of the Planning Board:

As you all know, our Firm represents VS Construction Corp. (the "Applicant" or "VS Construction"), owner of the above-referenced Property in connection with the Town's Medical Oriented District ("MOD"). We received Final Subdivision Plat approval from your Board last year. We are now approaching the expiration of that approval (expires in November) and we hereby request a further extension of that approval. Our clients and engineering team have been working with the Town and County to finalize the utilities, including storm water and sewer design, and related details, such that the County can indeed sign off on the Plat Map. That process is not yet complete, although we do expect it to be done shortly.

We look forward to appearing before your Board at your November meeting. In the meantime, please do not hesitate to contact us with any questions.

Respectfully submitted,

#### ZARIN & STEINMETZ LLP

#### David S. Steinmetz

By: \_\_\_\_

David S. Steinmetz Brian T. Sinsabaugh



Cortlandt Planning Board September 20, 2024 | Page 2

Copied (via email): VS Construction Corp. DTS Provident Design Engineering, LLP Michael Cunningham, Esq. Chris Kehoe, AICP

#### TOWN OF CORTLANDT PLANNING BOARD PB 2023-5

WHEREAS, the application of VS Construction Corp. for Preliminary and Final Plat approval pursuant to Sections 276 and 277 of the New York State Town Law and Chapter 265 (Subdivision Regulations) of the Town of Cortlandt Code for a proposed 2-lot major subdivision of an approximately 28.6-acre parcel of property and for a Wetland Permit pursuant to Chapter 179, a Tree Removal pursuant to Chapter 283 and a Steep Slope Permit pursuant to Chapter 259 of the Town of Cortlandt Code only for the proposed .958 acre road parcel as shown on a drawing entitled "Subdivision of Property prepared for V.S. Construction Corp." prepared by Daniel Merritts, P.L.S. latest revision dated October 23, 2023 and as shown on an 11 page set of improvement drawings entitled "2003 Crompond Road, Subdivision Application" prepared by Gerhard Schwalbe, P.E. latest revision dated November 1, 2023 was approved on November 8, 2023 by PB Res. 15-23, and WHEREAS, the subject properties are located on the south side of Crompond Road (Route 202)

east of Lafayette Avenue and west of Tamarack Drive, are zoned MOD, Medical Oriented District and designated on the Town of Cortlandt Tax Maps as Section 33.12, Block 2, Lots 1, 7 & 8, and **WHEREAS**, by Resolution 4-24 adopted on May 7, 2024 and 7-24 adopted on July 9, 2024 the Planning Board previously granted two, 90-day time extensions of Final Plat approval, and

**WHEREAS**, by a letter dated September 20, 2024 David Steinmetz, Esq. requested the 3<sup>rd</sup>, 90-day time extension of Final Plat approval for the subject application in order to continue to meet the conditions of said approval.

NOW THEREFORE BE IT RESOLVED that the request of David Steinmetz, Esq. for the 3<sup>rd</sup>,

90-day time extension of Final Plat approval is hereby **APPROVED**, said extension to expire on February 5, 2025.

## **TO BE CONSIDERED FOR ADOPTION: NOVEMBER 7, 2024**

### 124 ALLAN STREET CORTLANDT MANOR, NY 10567 914-737-2890

October 2, 2024

TOWN OF CORTLANDT PLANNING BOARD Town Hall 1 Heady Street Cortlandt Manor, NY 10567

Attn: Mr. Steven Kessler, Chairman

Re: 1 Jerome Ave, Dentist Office PB 2023-2

Dear Chairman;

We hereby request a one-year extension for the referenced project. After receiving Planning Board approval my design process was delayed as a result of a death in the owners family. My next setback was due to our attempt to qualify for a NYSERDA program for benefits associated with possible solar cell installation or other energy savings installations. I, finally, received a response to my request, on May 1, 2024, indicating that there was a moratorium on NYSERDA commercial incentive programs.

I am prepared to submit permit working and contracting drawings later this month and I expect it will take several weeks to review and for me to address any comments.

Respectfully

JOHN A. LENTINI ARCHITECT

John A. Lentini RA NY # 23755

Cc: Dr. Jaish Marcos, DDS

#### TOWN OF CORTLANDT PLANNING BOARD PB 2023-2

WHEREAS, the application for Planning Board approval of an Amended Site Development Plan pursuant to Chapter 307 (Zoning) of the Town of Cortlandt Code submitted by Jennie <u>Thomas of JJM Summit Realty, LLC,</u> for Amended Site Plan approval for a proposed 964 sq. ft. building addition to an existing dental office as shown on a 4-page set of drawings entitled "Area Plan-M. Thomas DDS" prepared by John Lentini, R.A., latest revision dated May 25, 2023 was approved on November 8, 2023 by Resolution 14-23, and

**WHEREAS,** the subject property is located at 1 Jerome Drive, is approximately 24,743 sq. ft., is zoned R-10, single-family residential and is designated on the Town of Cortlandt Tax Maps as Section 24.12, Block 4, Lot 52 and Section 24.13-4-1, and

**WHEREAS,** by a letter dated October 2, 2024 John Lentini, R.A. requested the 1<sup>st</sup>, one-year time extension of Amended Site Development Plan approval for the subject application.

**NOW THEREFORE BE IT RESOLVED,** that the request of John Lentini, R.A. for the 1<sup>st</sup>, one-year time extension of Amended Site Development Plan approval is hereby granted, said extension to expire on November 8, 2025.

#### **TO BE CONSIDERED FOR ADOPTION: NOVEMBER 7, 2024**



David S. Steinmetz david@zarin-steinmetz.com Also admitted in DC

September 28, 2023

<u>Via Email</u>

Hon. Steve Kessler Chairman Town of Cortlandt Planning Board 1 Heady Street Cortlandt Manor, NY 10567

## Re: Overlook Terrace Project <u>119 Oregon Road, SBL 23.11-1-12</u>

Dear Chairman Kessler and Members of the Planning Board:

We represent the owners of the former Colonial Terrace property. We respectfully request the second one year extension of the prior approvals for the Overlook Terrace project.

Thank you in advance for your attention to this matter.

Respectfully, ZARIN & STEINMETZ LLP David S. Steinmetz

By:

cc: <u>Via Email</u> Michael Cunningham, Esq. Chris Kehoe Nick Williams

#### DRAFT

#### TOWN OF CORTLANDT PLANNING BOARD PB 2021-1

#### **RESOLUTION NO. 14-24**

WHEREAS, the application for Planning Board approval of a Site Development Plan pursuant to Chapter 307 (Zoning) of the Town of Cortlandt Code and for a Special Permit as per Local Law 6-2021 for an Active, Adult Residential Community and for a Tree Removal Permit pursuant to Chapter 283 and a Steep Slope Permit pursuant to Chapter 259 of the Town of Cortlandt Code was submitted by <u>NRP</u> <u>Properties, LLC for the property of Terrace Management, Inc.</u> for a 135 unit active adult residential community as shown on a 19-page set of drawings entitled "Overlook Terrace-Site Plan Application Drawings" prepared by Gerhard Schwalbe, P.E. latest revision dated September 22, 2021 and a 13-page set of building Perspectives, Floor Plans and Elevations, prepared by GF 55 Partners, LLP dated September 17, 2021 was approved by Planning Board Resolution 19-21 adopted on November 3, 2021, and

**WHEREAS,** the subject parcel of approximately 8.7 acres is located at 119 Oregon Road, is zoned CC, Community Commercial and is designated on the Town of Cortlandt Tax Maps as Section 23.11, Block 1, Lot 12, and

**WHEREAS,** by Resolution 14-22 adopted on November 1, 2022 and Resolution 11-23 adopted on November 3, 2023 the Planning Board previously granted two, one-year time extensions, and

**WHEREAS**, by a letter dated October 9, 2024 David Steinmetz, Esq. requested the 3<sup>rd</sup>, one-year time extension of Site Development Plan approval for the subject application.

**NOW THERFORE BE IT RESOLVED,** that the request of David Steinmetz, Esq. for the 3<sup>rd</sup>, one-year time extension of Site Development Plan approval is hereby granted, said extension to expire on November 3, 2025.

#### **TO BE CONSIDERED FOR ADOPTION: NOVEMBER 7, 2024**



October 30, 2024

#### **OpenGov (PBCK 24-2)**

Hon. Steven Kessler Chairman of the Town of Cortlandt Planning Board and Members of the Board 1 Heady Street Cortlandt Manor, New York 10567

#### Re: 3 Locust Avenue LLC (PB 2024-1) 3 Locust Avenue, Cortlandt Manor, NY (SBL 34.5-2-6)

Dear Chairman Kessler and Members of the Board:

As you are aware, our firm represents 3 Locust Avenue LLC (the "Applicant") in connection with its application for site development plan and special permit approvals pursuant to Town Code Chapter 307 Articles X and XII, to permit the construction of a four-story 75,000 square foot self-storage facility and associated site improvements on the Property.

For submission and review at your Board's November 7<sup>th</sup> workshop and meeting, please find enclosed the following documents:

- 1. Narrative (re. architectural and site plan changes), prepared by JMN Architecture P.C. and dated October 30, 2024
- 2. Site Plan set, prepared by Key Civil Engineering LLC and last revised October 22, 2024
- 3. Architectural Plans (floor plans and elevations), prepared by JMN Architecture P.C. and last revised October 23, 2024

If you have any questions or require any further information, please do not hesitate to contact us.

Respectfully submitted,

ZARIN & STEINMETZ LLP

Brian T. Sinsabaugh

Encls.



Town of Cortlandt Town Board 3 Locust Ave / PB 2024-1 October 30, 2024 | Page 2

Copied (*via email*): Chris Kehoe, AICP Heather LaVarnway, CNU-A Thomas Wood, Esq. Michael Cunningham, Esq. Christopher Lapine, P.E., LEED AP 3 Locust Avenue LLC KPB Properties LLC Key Civil Engineering P.C. JMN Architecture P.C.

October 30<sup>th</sup>, 2024



Town of Cortlandt Planning Board 1 Heady Street Cortlandt Manor, NY 10567

Attention:Mr. Chris Kehoe, AICP, Director- Department of Planning & Community<br/>DevelopmentRegarding:Proposed Self Storage Facility<br/>3 Locust Avenue<br/>Cortlandt Manor, NY 10567<br/>Section 34.5, Block 2, Lot 6<br/>PB-2024-1Mr. Kehoe,

Please find the following information for your use in the preparation of the Negative Declaration to be submitted to the Planning Board for their consideration on Nov. 7th, 2024.

In general, the building design and height were initially discussed at an informal meeting with the Town some time ago. As you know, at that point the height was discussed and noted as approximately 42 feet, with 10'-6" floor to floor heights for 4-floors. With that said we moved to our site plan requirements and the building documents required to secure an approval from the Town which shifted somewhat to the Planning Board becoming the lead agency.

Initially it was not our intent to address the height of the building as it hadn't been addressed as a concern, which it has now become. In any event, in the course of the design of the building we were directed by the characteristics of the site to consider the following in our design, which ultimately lead to our reducing the average height of the building to just under the existing height of the current structure. Those characteristics which we were bound by include the water table at the cellar/basement level, the grade at the ground floor and matching up the rear parking area to create a second means of loading and unloading. All of these issues combined lead us to altered grades to accommodate each of these requirements. In essence the grade was not initially altered to address the building height but other criteria necessary to design a functional storage facility.

Now we get to the changes specific to your questions regarding the changes to the Civil and Architectural Plans submitted the past week.

#### Site Changes (as noted by Key Engineering/Marc Pilotta):

- A. The rear lot's southerly curbline was shifted north by approximately 18 feet, resulting in the loss of two parking stalls. The landscape area on the south side of the rear parking lot has increased.
- B. The elevation at the north end of the rear parking lot was raised by approximately 1 foot.
- C. The elevation at the south end of the rear parking lot was raised by approximately 1.5 feet.

D. The grade at the southeast corner of the proposed building was raised by approximately 18 inches.

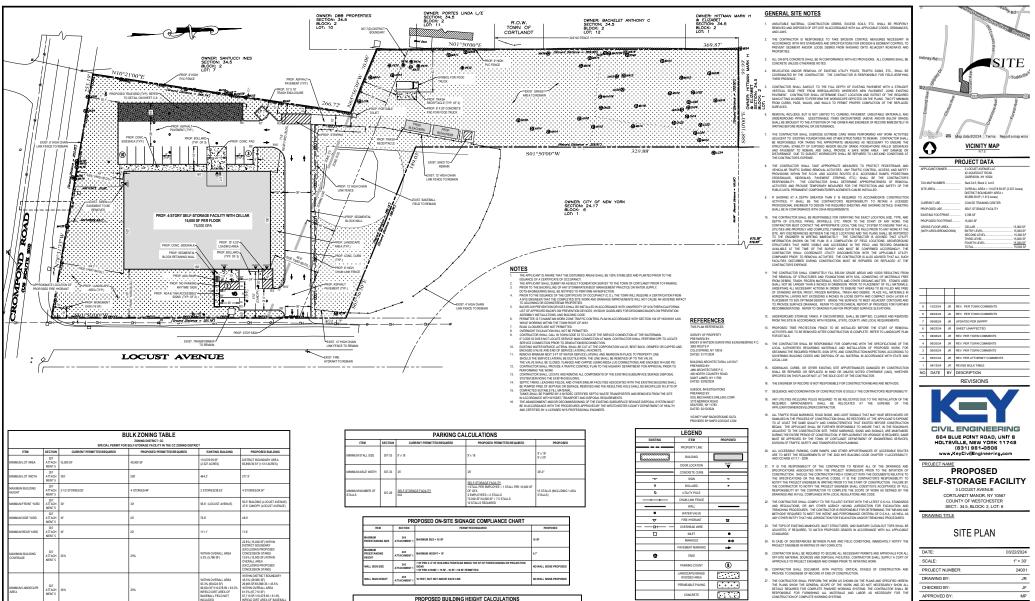
Due to the revised grades surrounding the building and the physical reduction (see following Architectural Revisions) in the building structure, the proposed building height is now calculated at 34.97'. This is 3.03' reduction in the overall proposed height, from what was previously submitted to the Town.

#### **Architectural Revisions:**

- A. Reduced the building's height by 2.4 feet.
- B. Revised the roof pitch to provide for internal rood drains instead of scuppers and leaders.
- C. Adjusted the grade around the building per revised civil drawings (see above Site Changes).
- D. Revised the visual appearance of the building to read as a two-story building by reducing the number of faux glazing and horizontal bands. These modifications made the new design more harmonious in character and scale with the existing school building.

Thank you for your attention to this matter.

Sincerely, JMN Architecture P.C. Joseph M. Neitzel, RA Principal





		PROPOSED BUILDING HEIGHT C	ALCULATIONS	
ITEM	SECTION	PROPOSED AVERAGE GRADE ELEVATION 20 FROM BUILDING	PROPOSED TOP OF ROOF ELEVATION	PROPOSED BUILDING HEIGHT
MAXIMUM BUILDING HEIGHT	307 ATTACHMENT 5	NORTH ELEVATION = 300.23 EAST ELEVATION = 353.73 SOUTH ELEVATION = 303.37 WEST ELEVATION = 304.43	NORTH ELEVATION = 425.16" EAST ELEVATION = 425.16" SOUTH ELEVATION = 425.16" WEST ELEVATION = 425.16"	NORTH = 34.33" EAST = 38.43" SOUTH = 34.73" WEST = 30.73" AVERAGE = 34.97"
		EXISTING BUILDING HEIGHT CA	ALCULATIONS	
ITEM	SECTION	EXISTING AVERAGE GRADE ELEVATION 20' FROM BUILDING	EXISTING TOP OF ROOF ELEVATION	EXISTING BUILDING HEIGHT
MAXIMUM BUILDING HEIGHT	307 ATTACHMENT 5	NORTH ELEVATION = 384.95 EAST ELEVATION = 384.93 SOUTH ELEVATION = 384.10 WEST ELEVATION = 385.80	NORTH ELEVATION = 423.0' EAST ELEVATION = 423.4' SOUTH ELEVATION = 423.0' WEST ELEVATION = 423.0'	NORTH -38.05' EAST - 38.11' SOUTH - 38.3' WEST - 38.0' AVERAGE - 38.52'

2	5-0°	29.	ALL EXCAVATIONS SHALL BE BACKFILLED AT THE END OF EACH WORK DAY OR PROTECTED WITH TEMPORARY FENCING IN COMPLIANCE WITH OSHA REQUIREMENTS.
200		30.	DEWATERING (F REQUIRED) SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL & STATI REQUIRTIONS, AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY NECESSAR ASSOCIATED DISCHARGE PERMITS.
		31.	SIGNS TO BE FILED UNDER SEPARATE APPLICATIONS BY OTHERS.
Ì		32.	ALL PROPOSED IMPORT FILL MUST BE TESTED AND CERTIFIED AS UNRESTRUTED, SUITABLE FOR RESIDENTIAL USE IN ACCORDANCE WITH TOWN POLICY. CERTIFICATION MUST BE PROVIDED BY A LICENSED PROFESSIONAL, ALL CERTIFICATIONS SHALL BE ADDRESSED TOWN FLAMING BOARD.
-			ENGINEER, ALL SOL, ANALYTICS AND REPORTS WILL BE FORWARDED TO THE TOWN'S PLANNING

PROPOSED FREESTANDING SIGN (ELEVATION VIEW)

PROP. 16SF

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28. ELECTRICAL WORK SHALL BE IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).

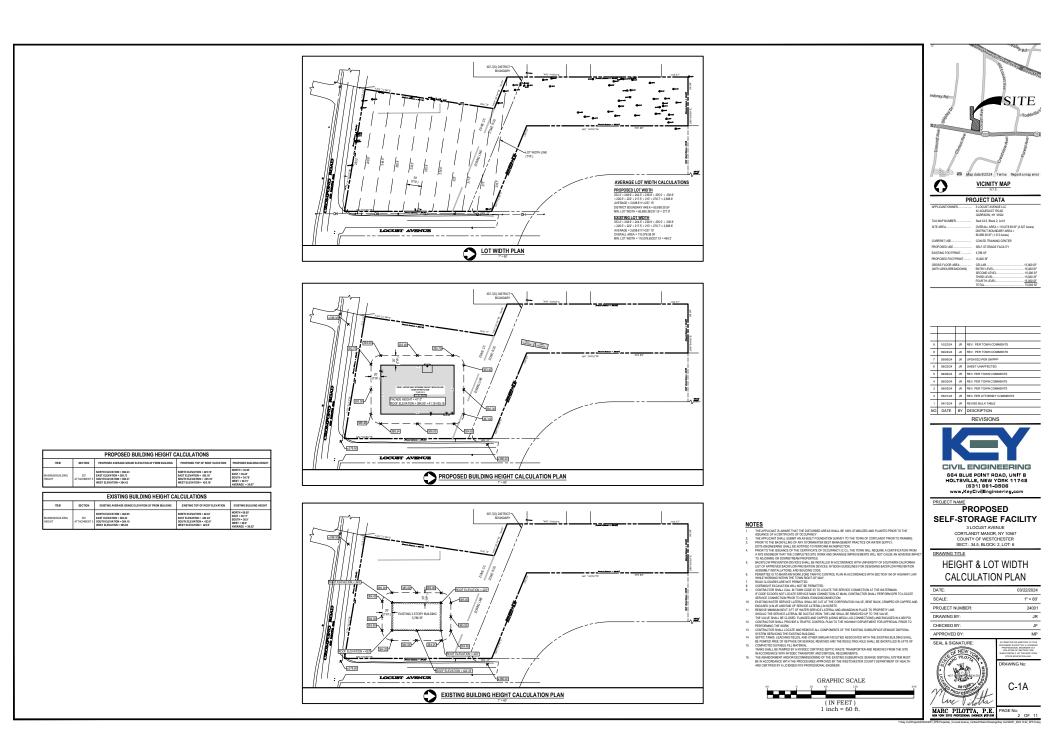
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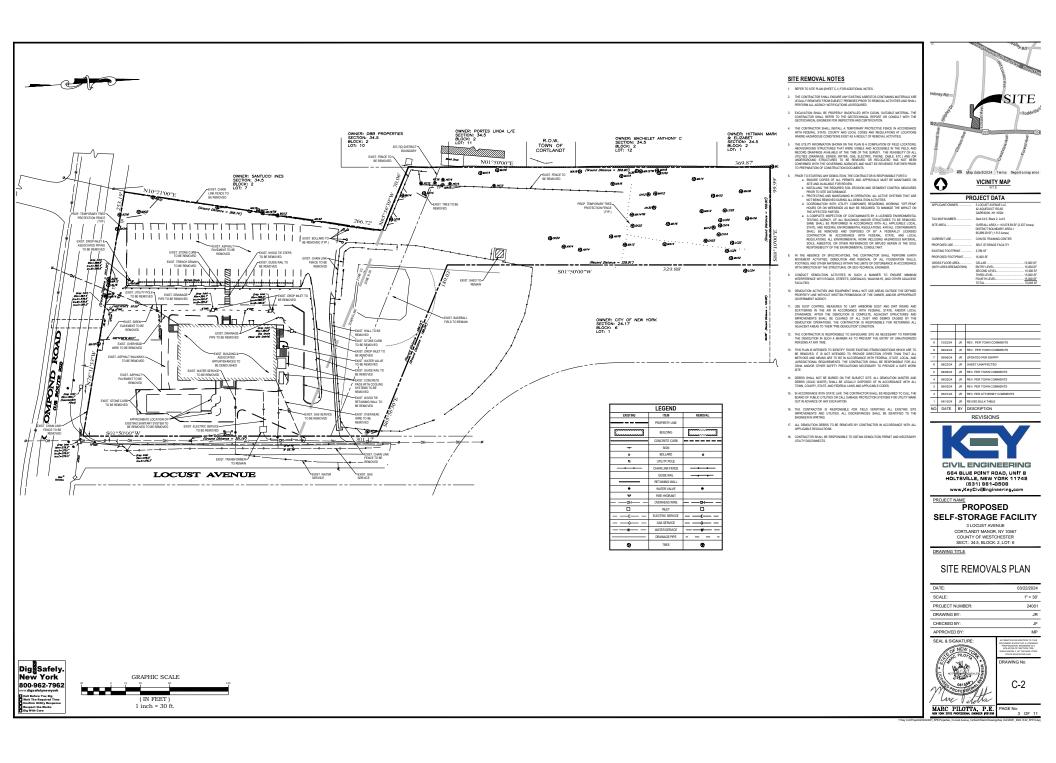
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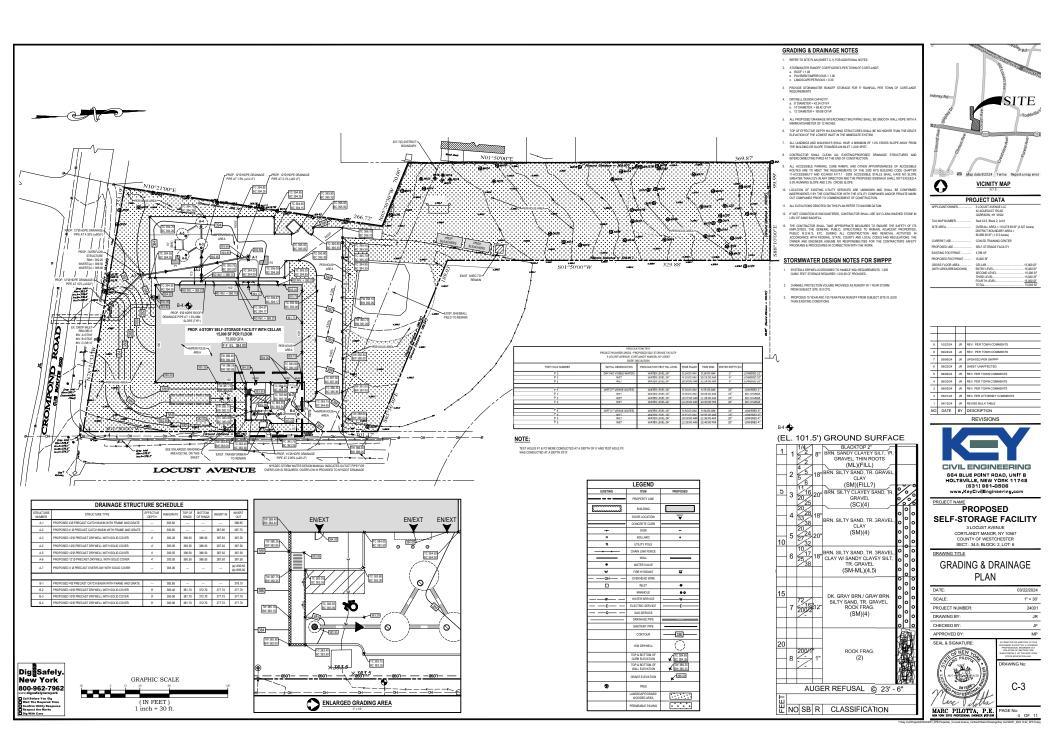
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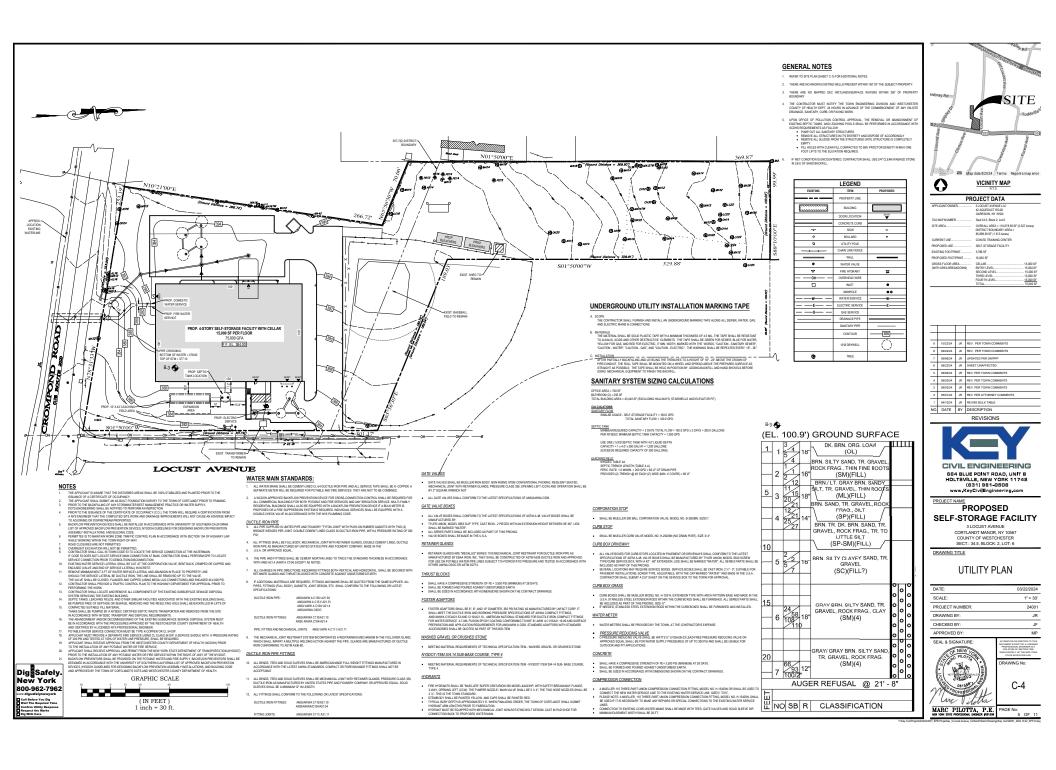
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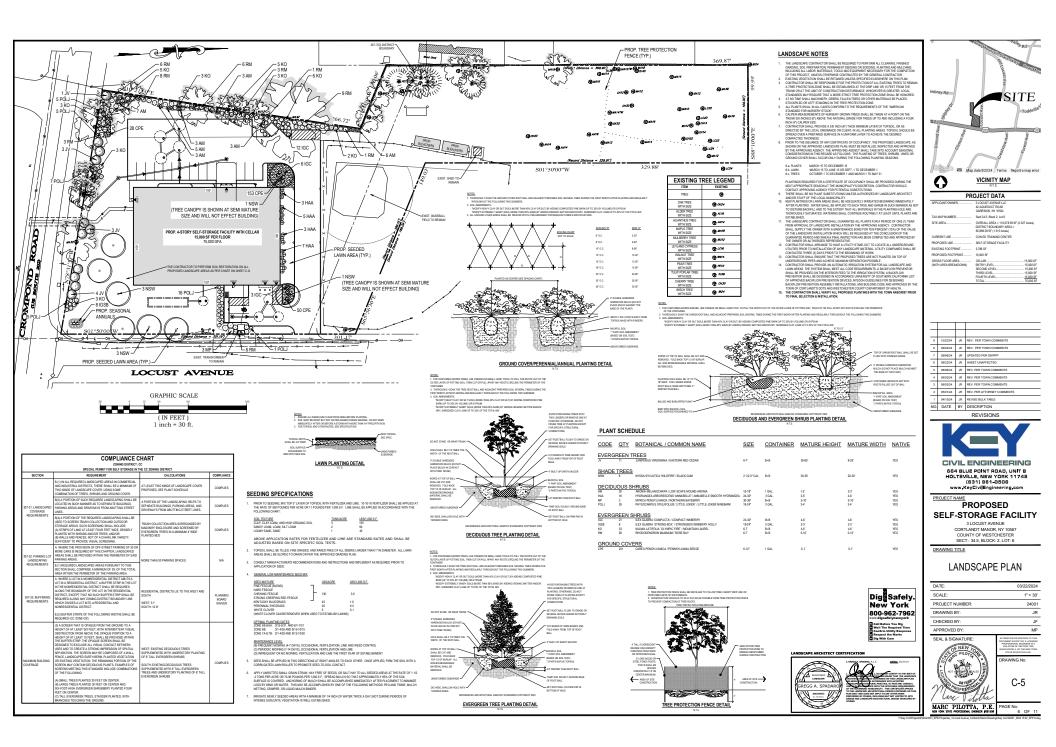
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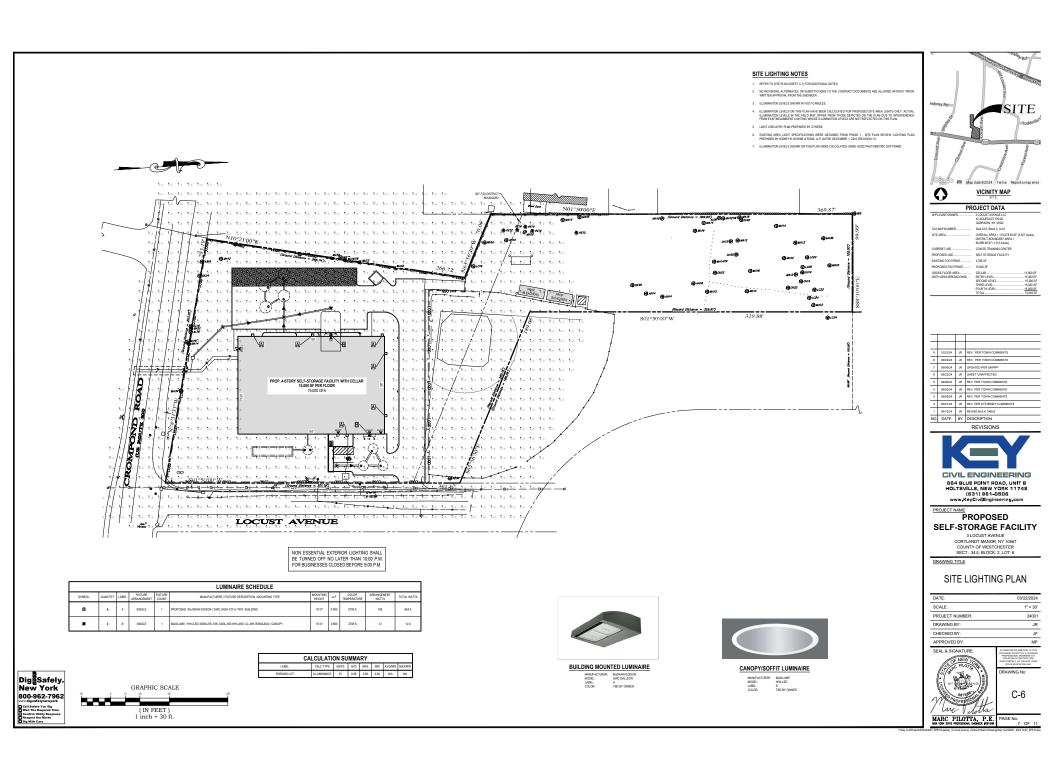


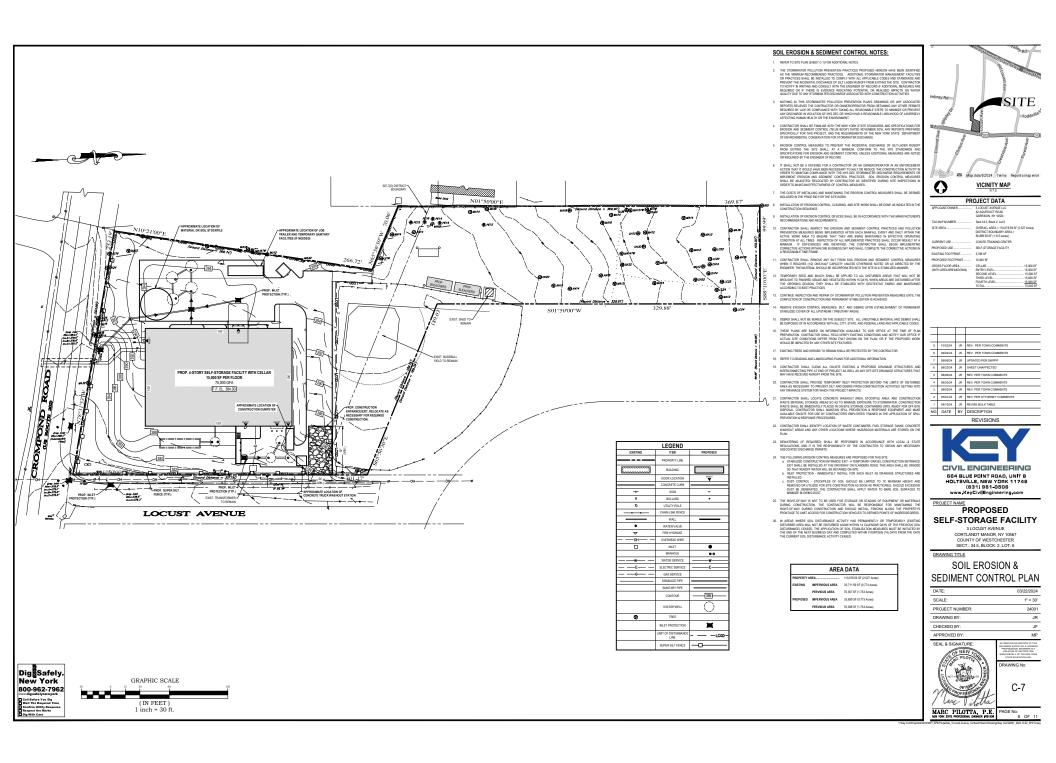












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4. APPLY TOPSOIL TO A DEPTH OF 6 INCHES. 5. VEGETATE AS REQUIRED BY THE SEEDING PLAN, USE APPROPRIATE GROUND COVER WITH DEEP ROOTS TO MAINTAIN THE SOLL STRUCTURE.

3. ROCK-PICK UNTIL UPLIFTED STONEROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE.

2. TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER, TO MIX AND CIRCULATE AIR AND COMPOST INTO THE SUBSOIL.

- EXERCISED AND ADDRESS OF ADDRESS OF ADDRESS AD
- 3. TO MAINTAIN SOIL RESTORATION, KEEP THE SITE FREE OF VEHICULAR AND FOOT TRAFFIC OR OTHER WEIGHT LOADS
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QUALIFIED INSPECTOR: 1/WK P	NOTECTION, AND OTHER B	MPS .		REQUIRED	
POST FINAL STABILIZATION					
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		ION REQUIREMENT			_
TYPE OF SOIL DISTURBANCE	SOL RESTORAT	TEN REQUIREMENT	PRESERVA	COMMENTS/DAMPLES	_
TYPE OF SOL DISTURBANCE NO SOL DISTURBANCE	SOL RESTORATION NOT PE RESTORATION NOT PE RESTORATION NOT RE MYDROLOGIC SOL	TEN REQUIREMENT	PRESERVAT	COMMENTS/EXAMPLES	

SEQUENCE DESCRIPTION	BMP ACTIVITIES	MAINTENANCE FREQUENCY
PRE-CONSTRUCTION	INSTALL INLET PROTECTION ON EXISTING INLETS	
	INSTALL PERIMETER SEDIMENT CONTROL / SILT FENCE	]
	INSTALL STABILIZED CONSTRUCTION ACCESS	WEEKLY OR AS REQUIRED
	INSTALL WORK TRAILER OR MAILBOX FOR CONSTRUCTION PERMIT PAPERWORK STORAGE	1
	IDENTIFY THE SOLL STOCKPILE STORAGE AND CONSTRUCTION STAGING AREAS	1
EARTHWORK	APPLY DUST CONTROL	
	INSTALL TEMPORARY RUN-OFF AND DRAINAGE CONTROL	DAILY
	SWEEP THE SOIL ON ROADWAYS	1
BUILDING CONSTRUCTION	MATERIAL STOCKPILE PERIMETER CONTROL & STABILIZATION	AS REQUIRED
RUN-OFF AND DRAINAGE	INSTALL NEW DRAINAGE SYSTEM	WEEKLY OR 45 BEOLIBED
CONTROL	INSTALL INLET PROTECTION FOR NEW SYSTEM	WEEKLY OK AS REQUIRED
GRADING, DRAINAGE, & UTILITY INSTALLATION AND	GRADE SITE AREAS	
STABILIZATION	STABILIZE EXPOSED AREAS	AS REQUIRED
	INSTALL EROSION CONTROL MEASURES	
FINALIZE GRADING	REMOVE TEMPORARY ESC MEASURES	MONTHLY OR AS REQUIRED
POST CONSTRUCTION STORMWATER MANAGEMENT AND INTERCONNECTING PIPE	CLEAN ALL DRAINAGE STRUCTURES AND PIPE THAT MAY HAVE RECEIVED RUNOFF	ANNUALLY OR AS REQUIRED
INSPECTION REQUIRED		
PRE-CONSTRUCTION		
TRAINED CONTRACTOR: DAILY	INSPECT SEDIMENT BASINS, PERIMETER SEDIMENT CONTROLS, STABILIZED CONSTRUCTION ACCESS, INLET	UPDATE SWPPP AS
OLIN IFIED INSPECTOR: 1/WK	PROTECTION, AND OTHER BMPS	REQUIRED

BMP IMPLEMENTATION AND MAINTENANCE SEQUENCE

#### MATERIAL STOCKPILE

- 16.5. INSPECT STOCKPILE SEDIMENT CONTROL SYSTEM IMMEDIATELY AFTER MODIFYING STOCKPILE. 6.6. REPAR AND/OR REPLACE PERMETER CONTROLS AND COVERS AS NEEDED. OR AS DIRECTED BY THE ENGINEER. TO

- Test Second end And POBLET DA NU ID USINGE NUMBER, Beneral de La Validit d'Internet en la velocitaria en la velocitaria de la velocit
- THIS DETAIL DOES NOT APPLY TO CONTAINING THE MATERIALS WHICH REQUIRE ADDITION ADAL ABALINES. LOCATE STOCKPUES AS FAR AWAY FROM BODES OF WATER, INFLITATION ADAL, BACINES, NUETER, AND OTHER DRAIN SYSTEM COUPONENTS AS POSSIBLE SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENT DMAGE.
- STOCKPILE NOTES: COMPLENDESS STOCKTE MAANGEMENT INCLUDES MEASURES TO MINIMIZE EROSION AND SEDMMENT TRANSPORT FROM SOLS O OTHER ERODIBLE MATHEMALS STORED AT THE CONSTRUCTION SITE SPECIAL ATTENTION SHOLD BE GUNG STOCKTLES IN CADE PROXIMITY TO NATURAL OR MANANDE STORM SYSTEMS. FROMEETCIN OF STOCKPLES IS



#### DUST CONTROL

- DOWIGLAGES STREMENT OF THE MAY BE IPPENDED INTE. THE REPORTER BUT THE IS EXPECIALLY EFFECTIVE ON HALL ROADS STREMENT OF THE INTERNATION OF THE MUNICIPAL OF THE INTERNATION OF THE INTERNATION AND THE INTERNATION OF THE
- APPLY GALLONSIACRE 500 235 300
- CONSTRUCTION SPECIFICATIONS

- PURPOSE TO PREVENT SURFACE AND AR MOVEMENT OF DUST FROM DISTURBED SOIL SURFACES THAT MAY CAUSE OFF-SITE DAMAGE, HAIT TH HAZANDS, AND TRAFFIC SAFETY PROBLEMS.
- DEFINITION THE CONTROL OF DUST RESULTING FROM LAND-DISTURBING ACTIVITIES.

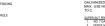
PE FYAMPLE



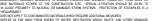
GEOTEXTILE, FILTER FABRIC, OR SILT FENCE FABRIC PLACED UNDER INLET GRATE IS NOT AN ACCEPTABLE STORMWATER MANAGEMENT PRACTICE NYS STANDARD INLET PROTECTION TYPES AND USES

NOTES

IBAOR









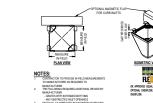
#### MAINTENANCE MAINTAIN DUST CONTROL MEASURES THROUGH DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS ARE STABILIZED.

- WINDERLAND NOT CALL VALUE OF CAN BE PLACED ON THE DRIVING SURFACE. STONE CAN ALSO BE USED FOR CONSTRUCTION ROUDS. WINDERLAND SUIT FORCE OR SUILAR BARRIER CAN CONTROL AR CURRENTS AT WITER/ALS EQUAL TO TEN TIMES THE BARRIER HEIDHT. PRESERVE EXISTING WIND BARRIER VEGETATION AS MUCH AS PRACTICAL.

- WATER QUALITY SHOULD BE CONSIDERED WHEN MATERIALS ARE SELECTED FOR DUST CONTROL. WHERE THER IS A POTENTIAL FOR THE MATERIAL TO WASH OFF TO A STREAM. INGREDIENT INFORMATION MUST BE PROVIDED TO THE NYSDEC.
- CONSTRUCTION CONSTRUCTION DEPENDIONS SHOULD BE SCHEDULED TO MINIMOE THE AMOUNT OF ARE ADSTRUMED AT ONE THE BUFFER AREA OF VECTOR FATION SHOULD BE LEFT IMFERE PRACTICAL. TEMPORAPY OR PERMANENT STABLEATION MEDIUMES SHALL BE INSTALLE. NO SPECIFIC DESIGN CONTERN IS ONEN, SEE CONSTRUCTION SPECIFICATIONS BELON FOR COMMON METHODO OF DUDIE CONTROL.
- CONDITIONS WHERE PRACTICE APPLIES ON CONSTRUCTION ROADS, ACCESS FORMS, AND OTHER DISTURBED AREAS SUBJECT TO SURFACE DUST MOVEMENT AND DISTORMENT AND DISCOURSE ARE OFFEN ANALONE MAY OCCUR FOUST IS NOT CONTROLLED.



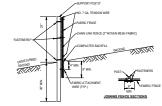




# NOTES FOR ALL TYPES OF SILT FENCE: 1. RACE SILT FRICE AT LOCATIONS AS SHOWN ON PLANS AS WELL AS DETALS. 2. SILT FRICE SHALL REINTLEDES VOLTER CANNOT RAYASS THE FRICE AROUND THE ENDS. 1. SILT FRICE SHALL REININ IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE THE OUVERNMM AGENCY.

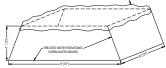
THE GOVERNING AGENCY. 4. DO NOT PLACE MATERAL AGAINST SILT FENCE. 5. INSPECT SILT FENCE IMMEDIATELY AFTER PLACING ANY MATERIAL NEARBY. 5. REPAR OR REPLACEMENT SHALL BE MADE PROMPTLY.

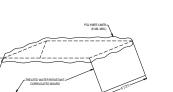
- SUPER SILT FENCE (33" HIGH)
- DEPENDENT FUNCTIONER 1 SK 21G TRANSDAMINER INSTALLED WORKDAMILITY AT TOP AND BOTTOM OF CHANLINK FORCE. 2 REVEX MUST BE FAXEDA TO DOSTINOL FORL GRAVE. DIOTESDO OF THE BARRER MUST BE EXTENDED AT LEAST 8 THEFE UTING CORE IN CORRECT TO THE MARRER ALLOWARD. 3 FABRIC ATTACHMENT WRES SHALL ONLY BE PLACED ADDVE TF ADOVE GRAVE AND BELOW # BELOW (BRACE.
- AIN LINK TO POST FASTENERS SPACED @ 14" MAX. USE NO. 6 GA. ALUMINUM WIRE OR NO. 9 ANAZED STEEL PRE-FORMED CLIPS. CHAIN LINK TO TENSION WIRE FASTENERS SPACED @ 40" USE NO. 11 GA. GALVANZED STEEL WIRE FASRICT OC HAN FASTENERS SPACED @ 44" MAX. C
- \* POSTS SPACED @ 10' MAX. USE 2 1/2" DIA. GALVANIZED OR ALUMINUM POSTS



#### CONCRETE TRUCK/MIXER WASHOUT AND GROUT WASTE EM 205 N T S

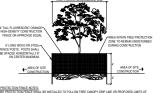
- 7. THE CONCRETE WASHOUT SHALL BE USED FOR THE WASHING OF PORTLAND CEMENT CONCRETE RELATED ITEMS (TRANSIT-MX TRUCKS, TOOLS, MIXERS, ETC.) ONLY.
- UNDER NO CIRCUMSTANCES ARE DRAINAGE STRUCTURES, OPEN DITCHES, STREETS, OR STREAMS TO BE USED FOR CONCRETE WASHOUT LOCATIONS. 6. LOCATE CONCRETE WASHOUT AT LEAST 50' FROM ALL DRAINAGE FACILITIES. OPEN DITCHES, AND OTHER WATER BODIES
- 4. CONCRETE WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED FACILITY.
- 2. WHEN DEEMED NECESSARY BY THE ENGINEER THE CONTRACTOR SHALL PLACE SIGNS THROUGHOUT THE SITE TO INDICATE THE LOCATION OF THE CONCRETE WASHOUT(S). 3. THE CONCRETE WASHOUT AREA SHALL BE REPLACED AS NECESSARY AND/OR ADBE TO MAINTAIN CAPACITY FOR LIQUID WASTE.
- CONCRETE WASHOUT NOTES: 1. THE CONCRETE WASHOUT(S) SHALL BE INSTALLED PRIOR TO THE DELIVERY OR PLACEMENT OF CONCRETE.

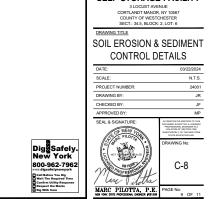




## TYPE V EXAMPLE - SACK INLET PROTECTION

DMETRIC VIEW DS FLE ST&RM OR APPROVED EQUAL SUCH AS DANG OPTIONAL CHERILON, ACF SILTSACK OFFER ON



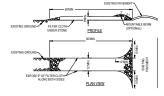


PROJECT NAME

#### STABILIZED CONSTRUCTION ACCESS

PHAGES. 11. ALL SECURINT SHALL BE PREVENTED FROM ENTERING STORM DRWINS, DITCHES, OR WATERCOURSES. 12. CONTRACTOR TO RELOCATE TRACKING PAGE AS NECESSARY. 13. EXPOSE 6<sup>-4</sup> END OF FLTER CLOICH ON BOTH OF THE LONGER SIDES FOR THE ENTIRE LENGTH.

- EVALUATION OF A STATE OF A S



#### TREE PROTECTION FENCE

TREE PROTECTION FENCE NOTES. 1. TREE PROTECTION FENCE SHALL BE INSTALLED TO FOLLOW TREE CANOPY DRIP LINE OR PROPOSED LIMITS OF THE FINAL DIVISION OF THE STORE OF THE STORE OF THE OWNER OF THE STORE OF THE OWNER OWNER





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REVISIONS

**CIVIL ENGINEERING** 

664 BLUE POINT ROAD, UNIT B HOLTSVILLE, NEW YORK 11742

(831) 861-0506

www.KeyCivilEngineering.com

PROPOSED

SELF-STORAGE FACILITY

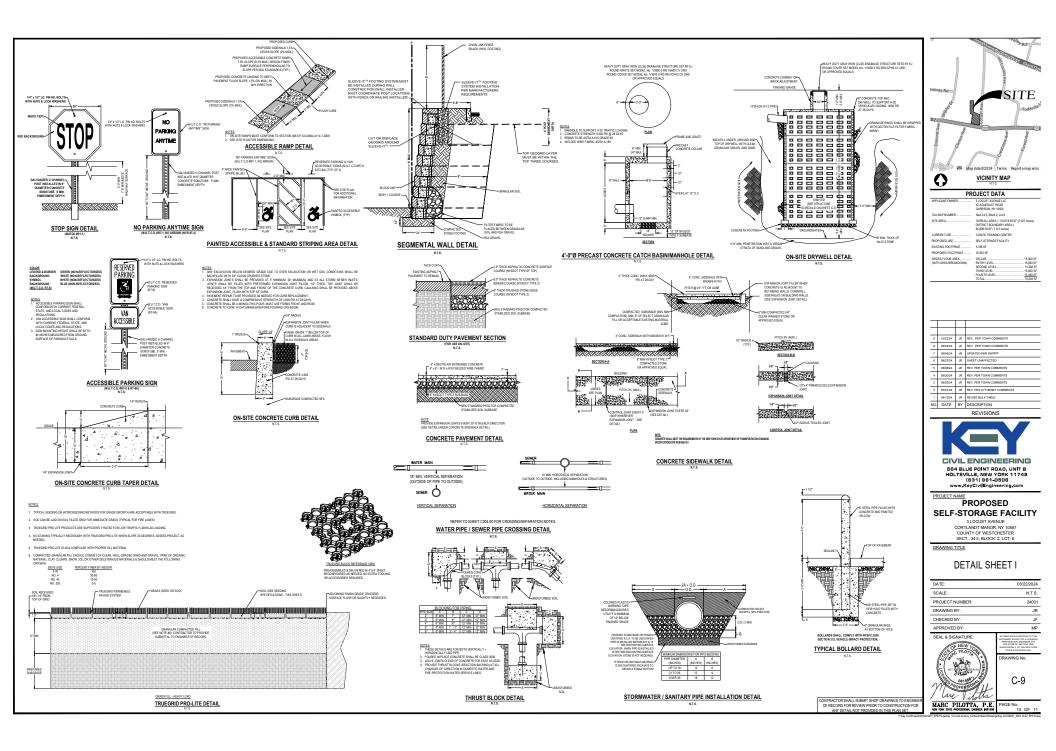
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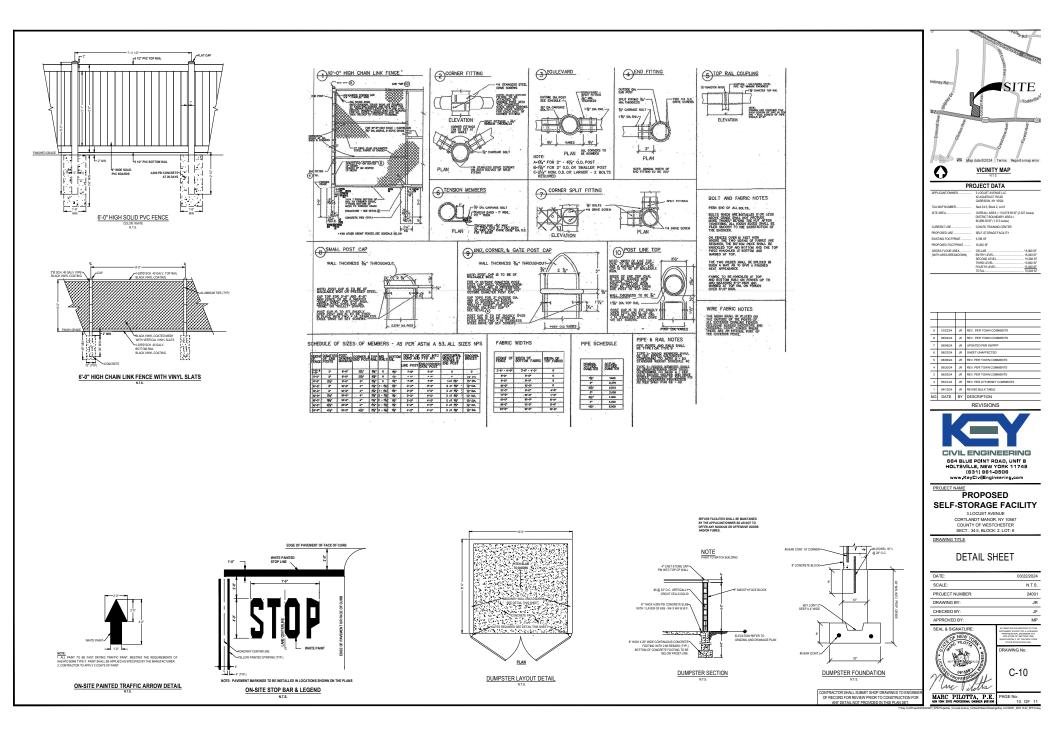
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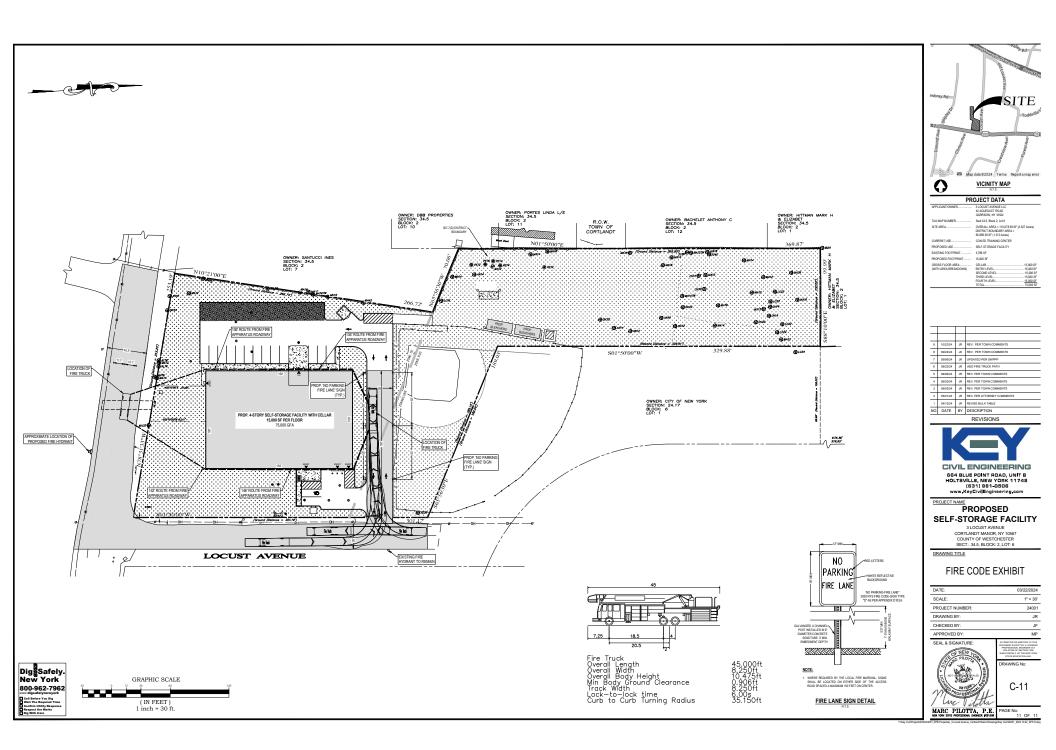
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NOTES

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY.

Architecture P.C. Architecture P.C. Mon Monte County Road Saint James, NY 11780 Saint Ja





NOTES

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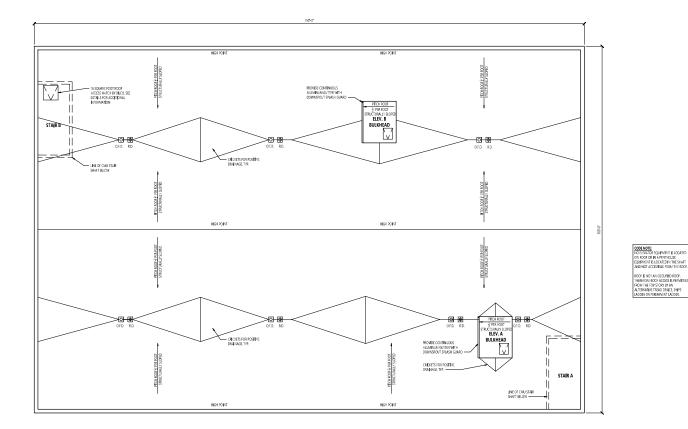
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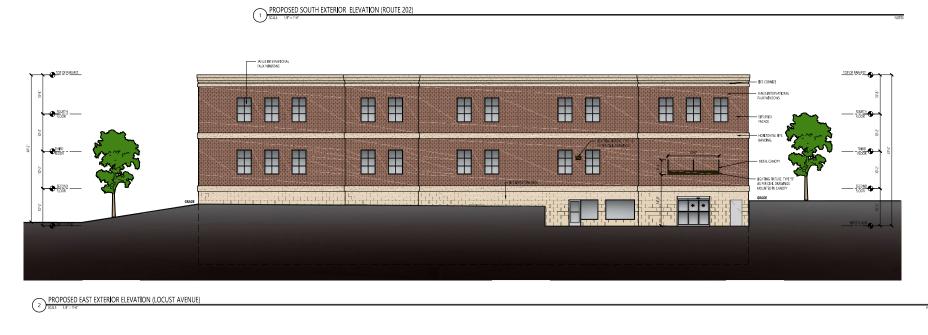
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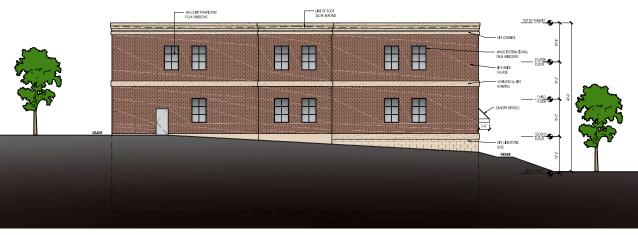
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THIRD AND FOURTH FLOOR CONSTRUCTION PLAN











PROJECT:

**3 LOCUST AVENUE** 

CORTLANDT SELF STORAGE

CORTLANDT, NY

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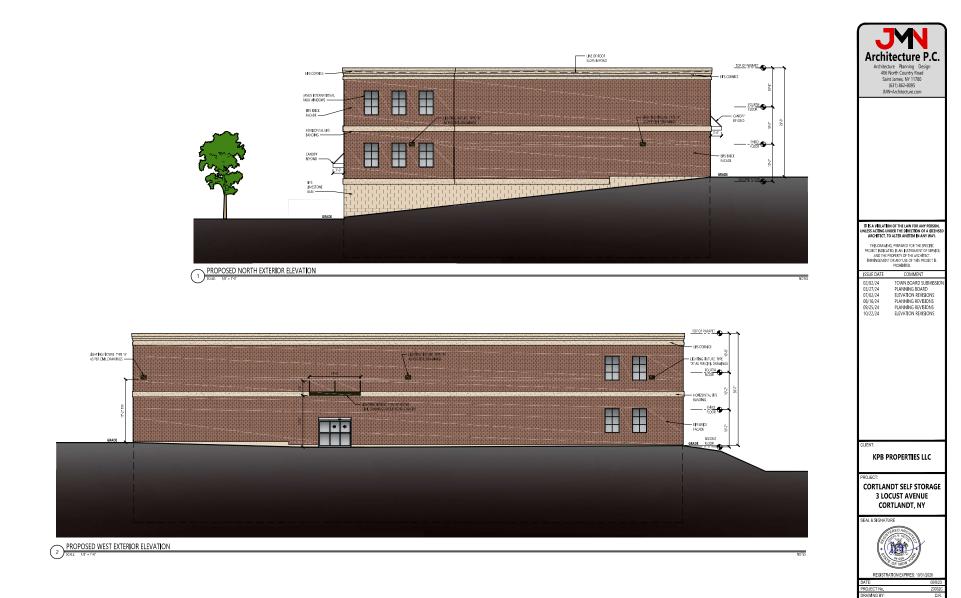
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> EXTERIOR ELEVATIONS

A-201

# Full Environmental Assessment FormPart 2 - Identification of Potential Project Impacts

Project : Date :

**Part 2 is to be completed by the lead agency.** Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

#### **Tips for completing Part 2:**

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

#### 1. Impact on Land

1.	Impact on Land			
	Proposed action may involve construction on, or physical alteration of,	🗆 NO		YES
	the land surface of the proposed site. (See Part 1. D.1)			
	If "Yes", answer questions a - j. If "No", move on to Section 2.			
		Delevent	No or	Madanata

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d		
b. The proposed action may involve construction on slopes of 15% or greater.	E2f		
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a		
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a		
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e		
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q		
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	Bli		
h. Other impacts:			

The proposed action may result in the modification or destruction of, or inhib access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g) <i>If "Yes", answer questions a - c. If "No", move on to Section 3.</i>			YES
ij ies , taiswel questions a c. ij ivo , move on to section 5.	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached:	E2g		
<ul> <li>b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark.</li> <li>Specific feature:</li></ul>	E3c		
c. Other impacts:			
<ul> <li>3. Impacts on Surface Water</li> <li>The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)</li> <li>If "Yes", answer questions a - l. If "No", move on to Section 4.</li> </ul>	□ NC		YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h		
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b		
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a		
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h		
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h		
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c		
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d		
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e		
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h		
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h		
k. The proposed action may require the construction of new, or expansion of existing,	D1a, D2d		

1. Other impacts:			
<ul> <li>4. Impact on groundwater The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifa (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t) If "Yes", answer questions a - h. If "No", move on to Section 5.</li></ul>	□ NC er.	) 🗆	YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c		
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source:	D2c		
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c		
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E21		
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h		
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l		
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c		
h. Other impacts:			

<ul> <li>5. Impact on Flooding The proposed action may result in development on lands subject to flooding. (See Part 1. E.2) If "Yes", answer questions a - g. If "No", move on to Section 6. </li> </ul>	□ NO		YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i		
b. The proposed action may result in development within a 100 year floodplain.	E2j		
c. The proposed action may result in development within a 500 year floodplain.	E2k		
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e		
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k		
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e		

g. Other impacts:			
<ul> <li>6. Impacts on Air</li> <li>The proposed action may include a state regulated air emission source. (See Part 1. D.2.f., D.2.h, D.2.g) If "Yes", answer questions a - f. If "No", move on to Section 7.</li> </ul>	□ NO		YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
<ul> <li>a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: <ol> <li>More than 1000 tons/year of carbon dioxide (CO<sub>2</sub>)</li> <li>More than 3.5 tons/year of nitrous oxide (N<sub>2</sub>O)</li> <li>More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs)</li> <li>More than .045 tons/year of sulfur hexafluoride (SF<sub>6</sub>)</li> <li>More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions</li> <li>vi. 43 tons/year or more of methane</li> </ol> </li> </ul>	D2g D2g D2g D2g D2g D2g D2h		
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g		
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g		
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g		
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s		
f. Other impacts:			

7. Impact on Plants and Animals The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. 1 If "Yes", answer questions a - j. If "No", move on to Section 8.	□ NO	□ YES	
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o		
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o		
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p		
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p		

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c		
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source:	E2n		
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m		
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source:	E1b		
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q 🗆		
j. Other impacts:			

8. Impact on Agricultural Resources The proposed action may impact agricultural resources. (See Part 1. E.3.a. a If "Yes", answer questions a - h. If "No", move on to Section 9.	□ NO	□ YES	
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
<ul> <li>a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.</li> </ul>	E2c, E3b		
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).			
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b		
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a		
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	El a, E1b 🛛		
The proposed action may result, directly or indirectly, in increased development C2c, C3, D2c, D2d			
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c		
h. Other impacts:			

If "Yes", answer questions a - g. If "No", go to Section 10.	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h		
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b		
<ul><li>c. The proposed action may be visible from publicly accessible vantage points:</li><li>i. Seasonally (e.g., screened by summer foliage, but visible during other seasons)</li><li>ii. Year round</li></ul>			
<ul><li>d. The situation or activity in which viewers are engaged while viewing the proposed action is:</li><li>i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities</li></ul>	E3h E2q, E1c		
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h		
<ul> <li>f. There are similar projects visible within the following distance of the proposed project:</li> <li>0-1/2 mile</li> <li>½ -3 mile</li> <li>3-5 mile</li> <li>5+ mile</li> </ul>	D1a, E1a, D1f, D1g		
g. Other impacts:			

	Part I Question(s)	small impact	to large impact may
		may occur	occur
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on the National or State Register of Historical Places, or that has been determined by the Commissioner	E3e		
of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places.			
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f		
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source:	E3g		

d. Other impacts:				
If any of the above (a-d) are answered "Moderate to large impact may e. occur", continue with the following questions to help support conclusions in Part 3:				
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f			
ii. The proposed action may result in the alteration of the property's setting or integrity.				
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3			
<ul> <li>11. Impact on Open Space and Recreation The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. (See Part 1. C.2.c, E.1.c., E.2.q.) If "Yes", answer questions a - e. If "No", go to Section 12.</li></ul>			YES	
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur	
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p			
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q			
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q			
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c			
e. Other impacts:				
<ul> <li>12. Impact on Critical Environmental Areas The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) If "Yes", answer questions a - c. If "No", go to Section 13.</li></ul>			YES	
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur	
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d			
<ul> <li>a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.</li> <li>b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.</li> </ul>	E3d E3d			

<b>13. Impact on Transportation</b> The proposed action may result in a change to existing transportation systems	. 🗆 N(		YES
(See Part 1. D.2.j)			115
If "Yes", answer questions a - f. If "No", go to Section 14.	Relevant Part I Question(s)	No, or small impact	Moderate to large impact may
a. Projected traffic increase may exceed capacity of existing road network.	D2j	may occur	occur
<ul><li>b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.</li></ul>	D2j		
c. The proposed action will degrade existing transit access.	D2j		
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j		
e. The proposed action may alter the present pattern of movement of people or goods.	D2j		
f. Other impacts:			
<b>14. Impact on Energy</b> The proposed action may cause an increase in the use of any form of energy. (See Part 1. D.2.k)			YES
If "Yes", answer questions a - e. If "No", go to Section 15.	Relevant	No, or	Moderate
	Part I Question(s)	small impact may occur	to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k		
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k		
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k		
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g		
e. Other Impacts:			
<b>15. Impact on Noise, Odor, and Light</b> The proposed action may result in an increase in noise, odors, or outdoor ligh	ting. 🗆 NC		YES
(See Part 1. D.2.m., n., and o.) If "Yes", answer questions a - f. If "No", go to Section 16.			
(See Part 1. D.2.m., n., and o.) If "Yes", answer questions a - f. If "No", go to Section 16.	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
	Part I	small impact	to large impact may
If "Yes", answer questions a - f. If "No", go to Section 16.         a. The proposed action may produce sound above noise levels established by local	Part I Question(s)	small impact may occur	to large impact may occur

d. The proposed action may result in light shining onto adjoining properties.	D2n	
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	
f. Other impacts:		

<ul> <li>16. Impact on Human Health The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. ar <i>If "Yes", answer questions a - m. If "No", go to Section 17.</i></li> </ul>	□ No nd h.)	0 🛛	YES	
	Relevant Part I Question(s)	No,or small impact may cccur	Moderate to large impact may occur	
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d			
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	E1h 🗆 🗆		
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	lh 🗆 🗆		
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).				
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h			
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t			
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f			
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	,Elf 🗆 🗆		
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s $\Box$			
j. The proposed action may result in excavation or other disturbance within 2000 feet of E1f, E1g E1h				
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g			
1. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r			
m. Other impacts:				

17. Consistency with Community Plans			<b>7</b> 50
The proposed action is not consistent with adopted land use plans. (See Part 1. C.1, C.2. and C.3.)	□ NO	ΠY	ES
If "Yes", answer questions a - h. If "No", go to Section 18.			1
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b		
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2		
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3		
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2		
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, Elb		
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j		
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a		
h. Other:			
<ul> <li>18. Consistency with Community Character</li> <li>The proposed project is inconsistent with the existing community character.</li> <li>(See Part 1. C.2, C.3, D.2, E.3)</li> <li>If "Yes", answer questions a - g. If "No", proceed to Part 3.</li> </ul>	□ NO	ΠY	ΈS
If Tes , unswer questions a - g. If No , proceed to Fart 5.	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g		occur
b. The proposed action may create a demand for additional community services (e.g.	C4		
schools, police and fire)			
	C2, C3, D1f D1g, E1a		
schools, police and fire)c. The proposed action may displace affordable or low-income housing in an area where	C2, C3, D1f		
<ul> <li>schools, police and fire)</li> <li>c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.</li> <li>d. The proposed action may interfere with the use or enjoyment of officially recognized</li> </ul>	C2, C3, D1f D1g, E1a		
<ul> <li>schools, police and fire)</li> <li>c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.</li> <li>d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.</li> <li>e. The proposed action is inconsistent with the predominant architectural scale and</li> </ul>	C2, C3, D1f D1g, E1a C2, E3		

Project : Date :

## Full Environmental Assessment Form Part 3 - Evaluation of the Magnitude and Importance of Project Impacts and Determination of Significance

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

#### **Reasons Supporting This Determination:**

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

Determination of Significance - Type 1 and Unlisted Actions					
SEQR Status:	□ Type 1	□ Unlisted			
Identify portions of EAF	completed for this Project:	□ Part 1	□ Part 2	□ Part 3	

Upon review of the information recorded on this EAF, as noted, plus this additional support information

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the

\_\_\_\_as lead agency that:

 $\Box$  A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

 $\square$  B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.7(d)).

 $\Box$  C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action:

Name of Lead Agency:

Name of Responsible Officer in Lead Agency:

Title of Responsible Officer:

Signature of Responsible Officer in Lead Agency:

Signature of Preparer (if different from Responsible Officer)

#### For Further Information:

Contact Person:

Address:

Telephone Number:

E-mail:

#### For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of) Other involved agencies (if any) Applicant (if any)

Environmental Notice Bulletin: http://www.dec.ny.gov/enb/enb.html

Date:

Date:

From: Ralph G. Mastromonaco 10/7/2024 pg 2024-3 To: Michael Cunningham. Esg.

Michael Cunningham, Esg.

Re: Dakota et al.

Your office must correct a severe problem with attorney David Steinmetz's legal testimony to the Board at the October 1, 2024, public hearing. When an Attorney testifies before a Board, he should testify truthfully and factually, as the Board expects expert advice from a professional. The improper and incorrect testimony from David Steinmetz appears to have prejudiced the Board against my position, and the Town's attorneys must correct the falsity.

#### **Problem 1 – Incorrect Citing of the Town Code**

Mr. Steinmetz testified to the Board that only "proposed uses" needed to be shown on the Site Plan, if at all, which is incorrect, given a simple reading of the code's text.

The Town Code requires site plans to include "proposed uses" or "uses of land," not singly "proposed uses."

Town Code 307-71-C (Must be shown on drawing)

(11) The proposed use or <u>uses of land</u> and buildings and proposed location of buildings, including proposed grades.

The Town's attorney must correct this legal matter for the Planning Board. The Planning Board may believe Mr. Steinmetz's false testimony, which would minimize the importance of my case. In contrast to Mr. Steinmetz's testimony, it is clear that all uses must be shown on a Site Plan.

October 29, 2024

Ralph G. Mastromonaco 2083 Albany Post Road #3 Montrose, NY 10548

via email / portal

Steven Kessler, Chairman, and Members of the Cortlandt Town Planning Board c/o Chris Kehoe, Director of Planning 1 Heady Street Cortlandt Manor, NY 10567

Re: <u>Third Letter</u> for Dakota Supply Corp. – Montrose Concrete Plant and C&D Facility Bilotta Realty & Briga Enterprises Section 55.09, Block 1, Lot 3 2097 (and 2099) Albany Post Road, Town of Cortlandt, New York

Dear Members:

This letter follows my first (9/5) and second (9/27) letters opposing the Town's exceptional treatment of the Dakota application. The applicant has not made new plans available to the public; thus, no visible effort has been made to address the issues in the first two reviews or the comments from staff. Accordingly, my first two letters remain on the record.

Based on the relevant codes, I continue to assert that the Planning Board has no legal authority to approve the Site Plan since the applicant still needs to meet the basic Site Plan requirements.

#### **Site Plan Amendment Approval Requirements**

The applicant submitted a Site Plan (8/24/2024) showing the entire property without the details required by the Town Code.

The primary defects of the application are:

- (1) A Special Permit is required for the Concrete Manufacturing Plant,
- (2) The Site Plan does not show all the various uses evident on the site, some of which violate the original site plan and some of which violate the zoning Code.
- (3) The Site Plan needs to show the physical elements the Code requires.
- (4) The board still needs to address SEQRA. This may be a Type 1 application as it is over 10 acres and within a CEA, and the disturbance is well beyond the initial Site Plan.

#### The Site Plan Must Show all Uses of the Land

Attorney Steinmetz argued that only "proposed uses" needed to be shown on the Site Plan, which, given a simple reading of the Code's text, was incorrect.

The Town Code requires site plans to include the "proposed use" or "**uses of land**," not singly "proposed uses."

Town Code **307-71-C** (Must be shown on drawing)

(11) The proposed use or <u>uses of land</u> and buildings and proposed location of buildings, including proposed grades.

We request that the Town's attorney affirmatively <u>correct</u> Attorney Steinmetz, as the incorrect interpretation may have improperly confused or influenced the Board. Further, the applicant should submit a proper Site Plan showing the uses.

#### Incomplete Engineering Reviews

Your board approved the Dakota building on February 10, prior to an engineering review. Mr. Preziosi's engineering review was made five (5) days <u>after</u> the February 10 meeting. Also, the Town's engineering and planning consultant was not asked to review the project in February. Therefore, your Board approved the Site Plan in February without any meaningful review.

At the recent October 1, 2024, public hearing for a re-approval, we learned that the Town's consultant (Labella) had reviewed the project and submitted the review that very morning. I obtained a copy of that review the following day, October 2, and I was surprised by what it contained and what it did not contain.

The information in the Labella memo made it clear that the applicant completely **<u>ignored</u>** many of Mr. Preziosi's February comments, and other responses were wholly inadequate.

For example, here are two actual screenshots of the engineering comments from February and the so-called responses by the applicant's Architect on March 11, 2024.

- Existing conditions around proposed building need to be shown. Develop the site plan to show location of existing parking area, equipment storage, material storage bins and other applicable site conditions.
  - There are no changes to the public parking or storage of outside building material.

The response was nonsensical and irrelevant when asked to show the required parking and storage areas on the Site Plan.

Here is another actual comment and response:

- a. <u>It appears the majority of the asphalt parking area, presumed to be used for</u> <u>customer parking is currently being occupied with material containers and similar</u> <u>storage bins.</u>
  - There is no change to the parking and no increased mercantile floor area use. The proposed building is to be used for storage accessible to employees.

Again, the applicant's response, like most of the others, is nonsensical and irrelevant. Yet, the Town staff <u>approved</u> the building permit <u>in late March 2024.</u>

This application requires an independent review by an <u>outside consultant</u> regarding engineering, zoning, and standard site planning issues such as lighting and landscaping.

Further, the applicant should fully respond to the Town staff's comments, which still needs to be done.

#### Town Attorney's Involvement

The Deputy Town Attorney became involved in the review process and steered the Planning Board's engineering consultant, Labella, from reviewing the entire Site Plan.

The consultant was asked to <u>limit</u> his review only to the 40'x60' building and <u>ignore</u> any effects the new building may have on the rest of the site and the neighborhood. The command also required the consultant to ignore any changes made to the site since the original site plan approval.

A screenshot from the consultant, Labella's Memo October 1, 2024:

Per the direction of the Town of Cortlandt Deputy Attorney in his letter dated September 24, 2024, this office focused its civil engineering review solely on the 2,400 square foot storage building, and not the entire property.

Accordingly, by distracting the engineer from reviewing the entire site, your Board has <u>again</u> been denied a proper engineering review of the Site as an integrated Plan.

It should be noted that approving only a small portion of the Dakota site would not relieve the applicants of liability under the claims made in my article 78, as the claims in the petition involve two (2) other improper approvals by the Planning Board that were made in 2003 and 2005 concerning the entire Site Plan.

#### A Site Plan Amendment is a Site Plan

As I noted at the October 1, 2024 public hearing, there are <u>no separate Town rules</u> for the content of an <u>amended</u> Site Plan. There is only one approval process in the Code, and that is for Site Plan approval. The elements that must be included for Site Plan approval are carefully itemized in the Code, and there are no exceptions for amended approvals. The deputy Town attorney limiting the Site Plan review to only one corner of the site is not a recognized zoning procedure in the Town's code or any code.

The enabling New York State Town Law regarding zoning also confirms that a Site Plan must cover a single parcel of land.

Town Law § 274-a. Site plan review:

1. Definition of site plan. As used in this section the term "site plan" shall mean a rendering, drawing, or sketch prepared to specifications and containing necessary elements, as set forth in the applicable zoning ordinance or local law, which shows the arrangement, layout and design of the proposed use of a <u>single parcel of land</u> as shown on said plan.

Further, the NYS Town Law <u>does not include a separate category for amended Site Plan</u> <u>approval</u>, as the law assumes that all site plan amendments follow the same rules for Site Plan approval and that all site plan elements are original.

#### Lack of NYS Stormwater Permitting

The State and Federal governments have strict rules regarding industrial stormwater discharge to local water courses and conveyances. I complained to the Town staff about the lack of stormwater permits on 11/8/2016, and Dakota was violated by **NYSDEC** on 11/25/2016. In 2017, Dakota finally filed for stormwater permit coverage; however, they <u>only applied for coverage for the **1-acre** concrete plant and ignored the remaining **10 acres** of manufacturing and industrial operations. (*SWPPP 6/21/2017*)</u>

Accordingly, Dakota still lacks the required stormwater controls on the 10-acre site. Since the start of operations in 2004, stormwater has flowed to the adjacent streams <u>without</u> the treatment required by State law.

More succinctly, there has been no permit and no stormwater treatment for **20 years of illegal stormwater discharges** from the retail store, parking areas, the entire contractor's yard, the material storage and manufacturing area, and the unlawful C&D facility, which together represent 90% of the site.

This violation concerns the Planning Board under SEQRA, Site Plan approval, and probably law enforcement.

#### Lack of a Planning Board Site Visit

The board has organized site visits on many projects. Your Board has performed site visits on sites smaller than Dakota but has overlooked making a site visit for this property.

Given the many issues on this site, it would be wise for the Board to visit this site formally.

#### New Material Expected from Code Enforcement

At the public hearing on October 1, 2024, the Board asked the deputy Town Attorney to obtain a list of any inspections they may have made at the Dakota site from Code Enforcement.

The inspection information provided by Code Enforcement, if any, should be made public to be evaluated, and the public hearing should be kept open to allow a review.

#### **General Comment**

I ask that your Board keep the public hearing open for various reasons, including the requirement that the applicant submits materials to conform the Site Plan to the zoning code or to give the public time to respond to any new materials introduced since the previous public hearing.

Signed:

Ralph G. Mastromonaco

Cc: B. Sinsabaugh, Esq., for Dakota Supply et al. M. Cunningham, Esq., Deputy Town Attorney M. Preziosi, PE, Director of Technical Services



October 30, 2024

#### Via OpenGov (PBCK-24-8)

Hon. Steven Kessler Chairman of the Town of Cortlandt Planning Board and Members of the Planning Board 1 Heady Street Cortlandt Manor, New York 10567

#### Re: Bilotta Realty of Westchester, Inc. (PB 2024-3) 2099 Albany Post Road (Section 55.9 Block 1 Lot 3)

Dear Chairman Kessler and Members of the Planning Board:

As you are aware, this firm represents Bilotta Realty of Westchester, Inc. ("Bilotta" or "Applicant"), owner of the property located at 2099 Albany Post Road in the Town of Cortlandt and Applicant in the above-referenced application for amended site plan approval. We write to supplement our prior submissions and to respond to Ralph Mastromonaco's comments at the public hearing and in other correspondence, including his October 7, 2024 email, as well as to respond to questions we received from staff.

This Application seeks amended site plan approval to authorize the construction of a storage shed on a defined area of the Property that is already disturbed. The storage shed is accessory to the existing use of the Property, and no other modifications are proposed to the original site plan approved by Planning Board Resolution # 20-03, adopted June 31, 2003. A public hearing was held October 1, 2024, at which time the Applicant presented the Application to the Planning Board and the public. Public comments were received from Mr. Mastromonaco, who opined that amended site plan review requires a review of the entire Property and not just that portion of the Property being modified, and (ii) that the Town Code requires that an amended site plan application include a drawing identifying both the proposed and existing uses of Property in compliance with Cortlandt Town Code ("Code") Section 307-71(C)(11). As discussed below, none of Mr. Mastromonaco's positions are correct and respectfully, must be disregarded.

New York Town Law vests authority to approve or deny applications for site development plans with the local Planning Board. *See* N.Y. Town Law § 274–a(2)(a) (McKinney's). New York Town Law further authorizes the Town of Cortlandt to "specify the land uses that require site plan approval and the elements to be included on plans submitted for approval," but does not reference amendments to site development plans. *See* N.Y. Town Law § 274–a(2). Consistent with New York Town Law, the Code authorizes the Planning Board to "review the plan or any amendment

thereto." *See* Code § 307-73. Pursuant to Article XII of the Code, which regulates site development plan approval in the Town, the erection of this shed requires amended site plan approval from the Planning Board. *See* Code § 307-66(A); *see also* Code § 307-66(B). While Code Section 307-71 identifies information to be submitted with a site development plan application, Code Section 307-75 expressly permits the Town to waive "certain of the information normally required as part of the site development plan" when inappropriate or unnecessary. As this Application seeks the approval to construct a storage shed on a small and already disturbed area of the Property (prior location of mini-golf course), waiver of certain informational requirements is not arbitrary or capricious, but instead consistent with New York Town Law, Cortlandt Town Code, and prior practice by the Town. *See* N.Y. Town Law § 274–a(2).

In addition, New York courts have held that a Planning Board need not engage in a review of the entire Property in its review of an amended site plan application. The New York Court of Appeals has long held that modification of a portion of a previously approved site plan does not permit a board to engage in an environmental or planning review of an entire project or site if the previous approval is no longer open to legal attack (i.e., the 4-month statute of limitations to contest the previous approval has lapsed). See E.F.S. Ventures Corp. v. Foster, 71 N.Y.2d 359, 371 (1988). This is true regardless of the amount of time that has lapsed since the original approval. See Stewart Park and Reserve Coalition v. New York State Dept. of Transportation, 157 A.D.2d 1, 8 (3d Dep't 1990)("the mere passage of time does not warrant reopening of environmental review"); see also Schulz v. State, 274 A.D.2d 615, 618 (3d Dep't 2000). Accordingly, in this Application, the Planning Board need not engage in an environmental or planning review of the entire Property, which was the subject of site plan approval granted by the Planning Board by Resolution # 20-03, adopted June 31, 2003. As stated in our September 9, 2024 letter to the Board (attached for reference), the Westchester County Supreme Court has already held that the statute of limitations on that 2003 site plan approval has long since lapsed and is not subject to legal challenge.<sup>1</sup> Accordingly, this Application for amended site plan approval cannot be the basis of an environmental review of the entire Property.

Lastly, we were asked to provide information related to the various governmental inspections regularly performed on the Property. The Property is subject to oversight by multiple County and State entities, including the following: (i) Westchester County Department of Health (air emissions); (ii) Westchester County Solid Waste Commission (trucks/materials hauling); and (iii) New York State Department of Environmental Conservation (Multi-Sector General Permit). These entities inspect the Property multiple times per year, without notice to the Applicant, and no violations have been issued to the Applicant as a result of any such inspection.

<sup>&</sup>lt;sup>1</sup> Mastromonaco attempted to litigate against the Town on this previously and was unsuccessful.



Town of Cortlandt Planning Board 2099 Albany Post Rd (SBL: 55.9-1-3) October 30, 2024 | Page 3

For the reasons stated above, we respectfully ask that the Planning Board disregard Mr. Ralph Mastromonaco's allegations, close the public hearing, and grant amended site plan approval.

Should you have any questions or wish to discuss, please contact our office.

Very truly yours,

ZARIN & STEINMETZ LLP

By:

David S. Steinmetz Brian T. Sinsabaugh

Encls.

Cc: (via e-mail) Chris Kehoe, AICP Thomas Wood, Esq. Michael Cunningham, Esq. SJB Architecture & Design George J. Mottarella PE, LS, PC Bilotta Realty of Westchester Inc. Ralph Mastromonaco

via email / portal

Ralph G. Mastromonaco 2083 Albany Post Road #3 Montrose, NY 10548

Steven Kessler, Chairman, and Members of the Cortlandt Town Planning Board c/o Chris Kehoe, Director of Planning 1 Heady Street Cortlandt Manor, NY 10567

Re: **Response to Zarin & Steinmetz** 10/30/2024 Letter PB 2024-3 Dakota Supply Corp. – Montrose Concrete Plant and C&D Facility Bilotta Realty & Briga Enterprises Section 55.09, Block 1, Lot 3 2097 (and 2099) Albany Post Road, Town of Cortlandt, New York

Dear Members:

Your Board has received a detailed legal report (10/30/2024) from Zarin & Steinmetz in an attempt to support the improper zoning procedures and ongoing illegal operations at the Dakota site that I have raised in earlier letters.

It is clear that responding to the lengthy legal argument will take longer than the few days left before the next adjourned public hearing.

Briefly, the Dakota attorneys have founded their legal argument on the <u>SEQRA</u> law (*E.F.S. Ventures*), but that is only a tiny part of the complaints about this site. The actual complaints are related to the **Site Plan**, not necessarily SEQRA. However, SEQRA is an issue for the <u>new</u> operations that have arisen on the site and have not been mitigated.

The Site Plan submitted to your Board (8/14/2024, enclosed) for your approval is bare and needs to show the required Site Plan information. The Site Plan now indicates new, **unapproved** uses and elements that must be newly approved throughout the site.

Further, the Planning Board has yet to affirmatively waive any Site Plan requirements, and no petition has been made to waive any requirements; therefore, all the zoning code requirements are appropriate to show on the Site Plan.

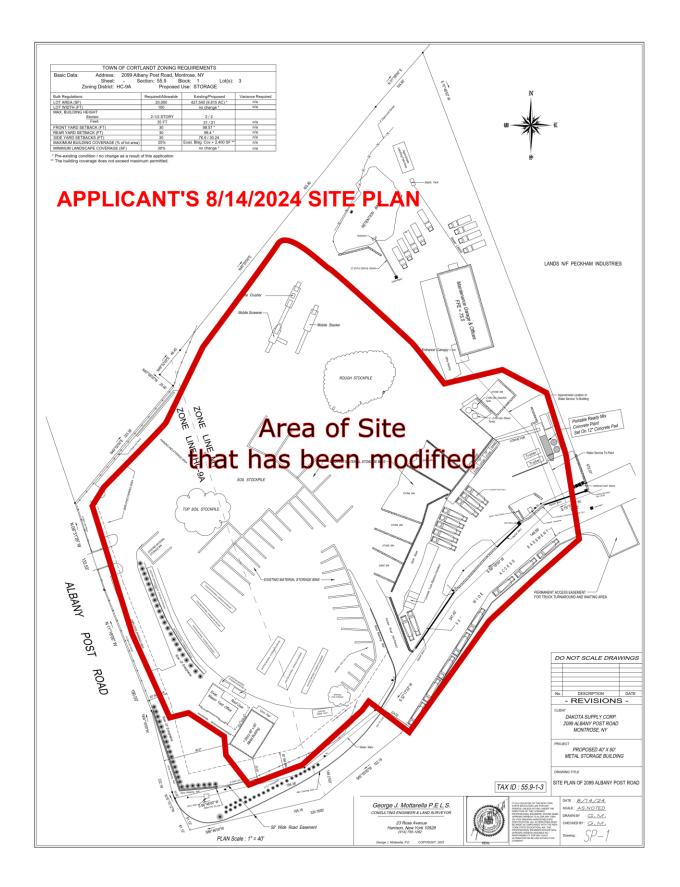
For the Board's interest, it is well established that there is <u>no statute of limitations</u> to challenge a Board's approvals when the decisions are made without authority in the law, as in this case in 2003. The Westchester County Court did not explicitly rule on the statute of limitations in the 2003 improper Site Plan approval, and the matter is in the second department for an appeal of other subject matter related to the lack of a Special Permit for the concrete plant.

The Board should again adjourn the public hearing to allow a complete response to the legal arguments presented by the Dakota attorneys.

Signed:

Ralph G. Mastromonaco

Cc: B. Sinsabaugh, Esq., D. Steinmetz, for Dakota Supply et al. M. Cunningham, Esq., Deputy Town Attorney



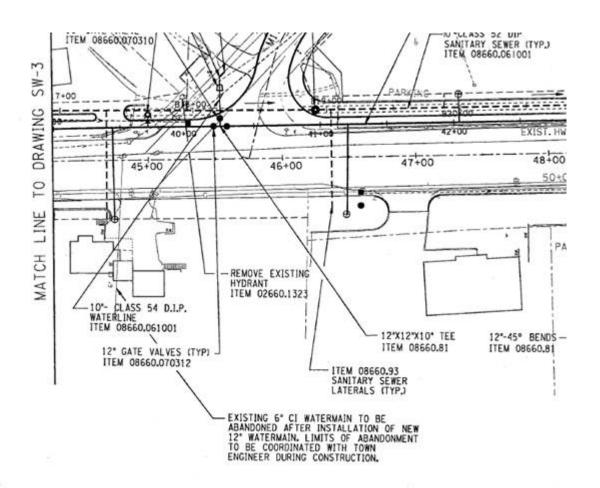


TO:	Town of Cortlandt Planning Board
FROM:	Christopher Lapine, P.E., LEED AP, LaBella Associates, DPC
DATE:	October 3, 2024
RE:	PB 2024-5 – 2077 E Main Street Elrac LLC dba Enterprise Rent-a-Car

LaBella, performed a review of the subject application and submitted our comments to the Planning Board on September 23, 2024. Subsequently, this office had correspondence with the Town Engineer, and as a result the following additional items should be addressed in the next submittal.

- 1. Subject parcel is in the Cortlandt Boulevard West Sewer Improvement Area. Applicant is advised that sanitary sewer charges are based on water consumption. Activities that use excess water such as vehicle washing or said uses that create fats, oils and greases are subject to additional charges. Benefit unit assessment rolls are annually by the Town Board in December.
- 2. Investigate and identify where the existing on-site drainage discharges too.
- 3. This office requested details of the oil/water separator and calculations for its sizing. Additionally, please provide details of the entire collection system and recycling system (if applicable).
- 4. The building's water supply will need to be protected from the car wash with internal controls and demonstrated on the MEP plans when submitted for a permit.
- 5. Sanitary sewer lateral is not shown. Update the survey and site plan to depict the existing sanitary sewer lateral. Screenshot of Route 6 as-built sewer below.





#### Submission Form to the Westchester County Planning Board

#### For Planning and Zoning Referrals Requiring Notification Only

County Reference Number CTD N24-002

The Westchester County Planning Board has predetermined that certain categories of planning and zoning applications are matters for local determination only. For any application listed below, submission of this completed form will satisfy the requirement of NYS General Municipal Law and the Westchester County Administrative Code that the local board provided adequate notification to the county Planning Board in accordance with Planning Board procedures. No other material need be sent. Upon receipt, the county Planning Board will complete the bottom section of this form and return it to you for your records to indicate compliance with referral requirements.

When completed, save this form as a .pdf file and e-mail to: <u>muniref@westchestergov.com</u> or print and fax to (914) 995-3780.

# Please note: All applications given a positive declaration pursuant to SEQR must be referred as a complete application. Do not use this form.

Municipality: <u>Cortlandt</u>

Referring Agency (check one):

Planning Board or Commission

Zoning Board of Appeals

City or Common Council/Town Board/Village Board of Trustees

Application Name and Local Case Number: PB 2024-5 Elrac, LLC Site Plan Amendment - Entreprise Rent a Car

Address	2077 East Main Stree	t			
Section:	33.12	Block: 2		_ Lot:1 & 7	
Submitte	ed by (Name and Title):	Chris Kehoe, AICP, Direct	or of Planning		
E-mail a	ddress or fax number:	chrisk@townofcortlandt.cor	n		
		n qualifies for the notification ory of action checked below		e to the county Planning Board	
		ecrease front yard setback, y abutting a state or county		Im street frontage or decrease	
	cial Use Permit or Use than 10,000 square feet		n 5,000 square fee	et of new or renovated floor area	and
		5,000 square feet of new o property within 500 feet of:	r renovated floor a	area and less than 10,000 squar	Э
•	An existing or proposed The boundary of state- o	ting or proposed state or co county drainage channel li	ne nich a public buildi	ation area or road right-of-way	
		Do not write bel	ow this line.		
	· · · · · · · · · · · · · · · · · · ·		10/15/24		

Date received by the Westchester County Planning Board: 10/15/24

Notification acknowledged by (name and title): <u>Michael Vernon, Associate Planner</u>



David S. Steinmetz david@zarin-steinmetz.com

October 30, 2024

#### Via OpenGov (PBCK-24-11)

Hon. Steven Kessler, Chairman of the Town of Cortlandt Planning Board and Members of the Board 1 Heady Street Cortlandt Manor, NY 10567

#### *Re:* JAM Storage LLC – Site Plan (PB 2024-6) 2059 Albany Post Road (SBL: 55.13-2-19 & 20)

Dear Chairman Kessler and Members of the Planning Board:

As you know from our initial application in September, we have been retained, along with Insite Engineering, Surveying and Landscape Architecture, P.C., to represent JAM Storage, LLC, with regard to the filing and processing of an application for a Site Plan Approval to develop a self-storage facility. We ask that this Application be added to the Planning Board's November 7, 2024 work session and meeting agendas for a continued review of our application.

We last appeared before your Board at the September 10, 2024 meeting and a site visit was conducted on October 27, 2024, which our team found very helpful and productive. In response to the comments received from the Board Members and Town staff, we submit the enclosed Site Plan set, prepared by Insite Engineering, Surveying and Landscape Architecture, P.C. and dated October 24, 2024.

The Project has been revised to reduce the building footprint and eliminate the circular access so as to reduce the wetland buffer impacts. Notable modifications to the plan include, as explained by our engineer, the following:

- A "k" turn has been provided at the end of the driveway which meets the NYS Fire Code.
- The existing onsite wetland buffer consists primarily of lawn area.
- The proposed wetland buffer disturbance has been reduced from the previously proposed 36,532 s.f. to 6,275 s.f., plus an additional 8,900 s.f. of disturbance resulting from wetland mitigation, consisting of the removal of lawn for the re-establishment of the buffer area as a stormwater management practice.
- Currently there is no stormwater treatment on the site which has previously experienced a failing septic (now fixed, and by the current applicant) and has much debris onsite.
- The amount of mitigation has been significantly increased from 3,000 s.f. (not including the stormwater management practice) to 15,500 s.f. (not including the stormwater



management practice). The stormwater management practice results in another 8,900 s.f. of wetland disturbance, resulting from lawn area within the wetland buffer being relandscaped with native plants, including meadow, small shrubs and trees.

• The wetland mitigation ratio (i.e., wetland mitigation : on and offsite proposed impervious surfaces within the wetland buffer) is 1.7 : 1.

We look forward to presenting this revised application to your Board and moving forward in the application review process.

If you have any questions, please do not hesitate to contact me.

Respectfully submitted,

## ZARIN & STEINMETZ LLP

By:\_\_

David S. Steinmetz Brian T. Sinsabaugh

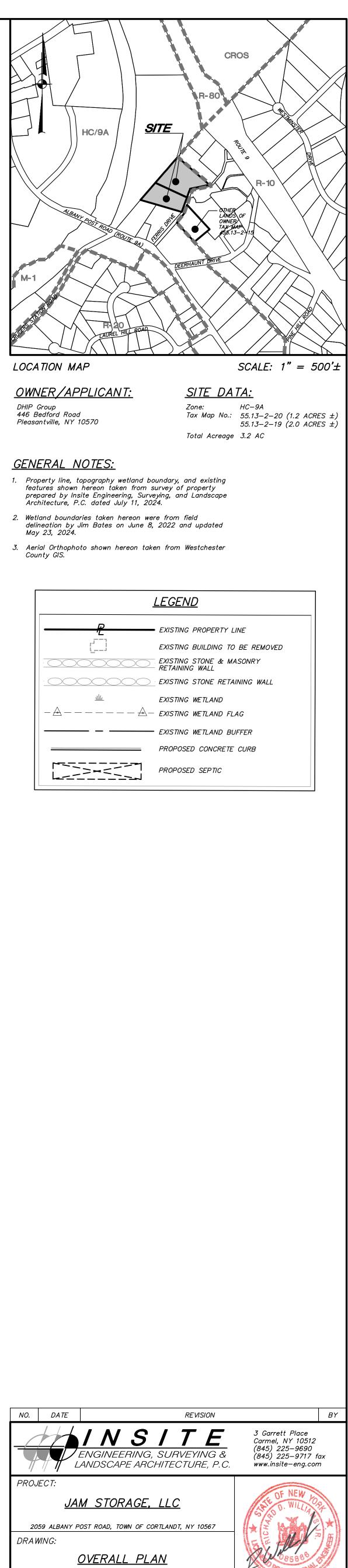
 via email (w/enclosures)
 Mr. Chris Kehoe, AICP, Director of Planning & Community Development Heather LaVarnway, CNU-A Planner
 Thomas Wood, Esq., Town Attorney
 Michael Cunningham, Esq., Deputy Town Attorney
 Martin Rogers, Code Enforcement
 JAM Storage, LLC
 Insite Engineering, Surveying and Landscape Architecture, P.C.



<u>HC/9A — HIGHWAY COMMERCIAL/MULTI—FAMILY</u> ZONE REQUIREMENTS					
	<u>REQUIRED/</u> <u>PERMITTED</u>	<u>PROPOSED</u>			
Minimum Lot Area:	20,000 s.f.	3.2 AC			
Minimum Lot Width:	100'	370'			
Maximum Building Height:	2 1/2 stories or 35'	Less than 35'			
Minimum Front Yard:	30'	39'			
Minimum Side Yard:	30'	115'			
Minimum Rear Yard:	30'	44'			
Maximum Building Coverage:	25%	22%			
Minimum Landscape Coverage:	30%	76%			

			<u>RIGHT OF WAY</u> RBANCE
ZONING NOTES:			TOTAL AREA
<ol> <li>Lot area, building coverage, &amp; landscape coverage are based</li> <li>Landscaped coverage calculated from existing and proposed</li> </ol>	landscaped and vegetated areas.	IMPERVIOUS COVERAGE WITHIN TOWN/ACOE	0 s.f.
PARKING SUMMARY		WETLAND	
1 per 10,000 s.f. of floor space	= 6 REQUIRED = 6 PROVIDED	IMPERVIOUS COVERAGE WITHIN TOWN OF CORTLANDT WETLAND BUFFER	4,830 s.f. Existing to be Redeveloped 5,280 s.f. New/Proposed

<u>ONSITE CONTROLLED AREA</u> DISTURBANCE AND MITIGATION AREA						
	TOTAL AREA ONSITE	PROPOSED AREA OF DISTURBANCE				
TOWN/ACOE WETLAND	8,714 s.f.	0 s.f.				
TOWN OF CORTLANDT WETLAND BUFFER	40,958 s.f.	3,625 s.f. Impervious Redeveloped Over Existing Lawn 200 s.f. Impervious Redeveloped Over Existing Impervious <u>2,450 s.f. Regrading Existing Lawn</u> 6,275 s.f. Total				
MITGATION PROPOSED	15,500 s.f. Wetland Mitigation Plantings <u>8,900 s.f. Stormwater Management Practice</u> 24,400 s.f. Total					
	Ratio 1.7 to 1 =	15,500 / (5,280+3,625)				



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 $DATE 10-24-24 \qquad DRAWN \\ BY \\ SCALE 1" = 30' \qquad CHECKED \\ BY \\ BY \\ CHECKED \\ CHECKED$ 

SHEET

DRAWING NO.

<u>D.W.M.</u> OP-1

R.D.W.

S.M.R.

GRAPHIC SCALE

( IN FEET ) 1 inch = 30 ft.

15 30



David S. Steinmetz david@zarin-steinmetz.com Also admitted in DC

October 10, 2024

Hon. Steven Kessler Chairperson of the Town of Cortlandt Planning Board and Members of the Planning Board Town of Cortlandt Town Hall One Heady Street Cortlandt Manor, New York 10567

## *Re:* Yeshiva Ohr Hameir (the "Yeshiva") 141 Furnace Woods Road; Cortlandt Manor, NY 10567 <u>Planning Board Resolution Nos. 01-10, 18-12 & 5-16, 4-19</u>

Dear Chairman Kessler and Members of the Planning Board:

By this letter, the Yeshiva respectfully requests the renewal of the Special Permit granted by the Board pursuant to Resolution No. 01-10, adopted January 13, 2010, and renewed by the Board most recently for three years pursuant to Resolution No. 1-22, adopted on January 4, 2022. This letter is also submitted pursuant to Condition No. 2 of your Board's Resolution No. 1-22.

First, with respect to the Yeshiva's Special Permit renewal request, the Yeshiva is working with the Town of Cortlandt to establish a Furnace Woods Sewer Improvement District so that a sewer main can be constructed to serve the Yeshiva and other area residents. The Town has put the construction of the sewer main out to bid, and the Yeshiva stands ready to connect to such sewer main as soon as possible.

As your Board knows, a Special Permit renewal process like the instant application is a Type II action under the State Environmental Quality Review Act. See 6 N.Y.C.R.R. § 617.5(c)(26); see also <u>Atlantic Cement Co., Inc. v. Williams</u>, 129 A.D.2d 84, 516 N.Y.S.2d 523, 525 (3d Dept. 1987) ("Where the Court held that "in the absence of a material change in conditions or evidence of a violation of the terms of the permit, a renewal should be granted without unduly burdening the applicant."). Here, the use of the Yeshiva property and the on-site improvements remain the same. As such, issuance of a Special Permit renewal is lawful and appropriate.

With respect to Condition No. 2 of your Board's Resolution No. 1-22, we are unaware of any other issues or outstanding code violations, substantial or otherwise.



We look forward to appearing before your Board at its November Meeting to answer any questions you may have regarding the Yeshiva's request. In the interim, as always, please do not hesitate to contact us with any questions or comments.

Respectfully submitted,

ZARIN & STEINMETZ

By:

David S. Steinmetz Daniel M. Richmond

DSS/mth

cc: Rabbi Elya Kanarek Yaakov Rothberg Yeshiva Ohr Hameir Dan Ciarcia, P.E. Michael Preziosi, PE Chris Kehoe, AICP Thomas Wood, Esq. Michael Cunningham, Esq.

## Short Environmental Assessment Form Part 1 - Project Information

#### **Instructions for Completing**

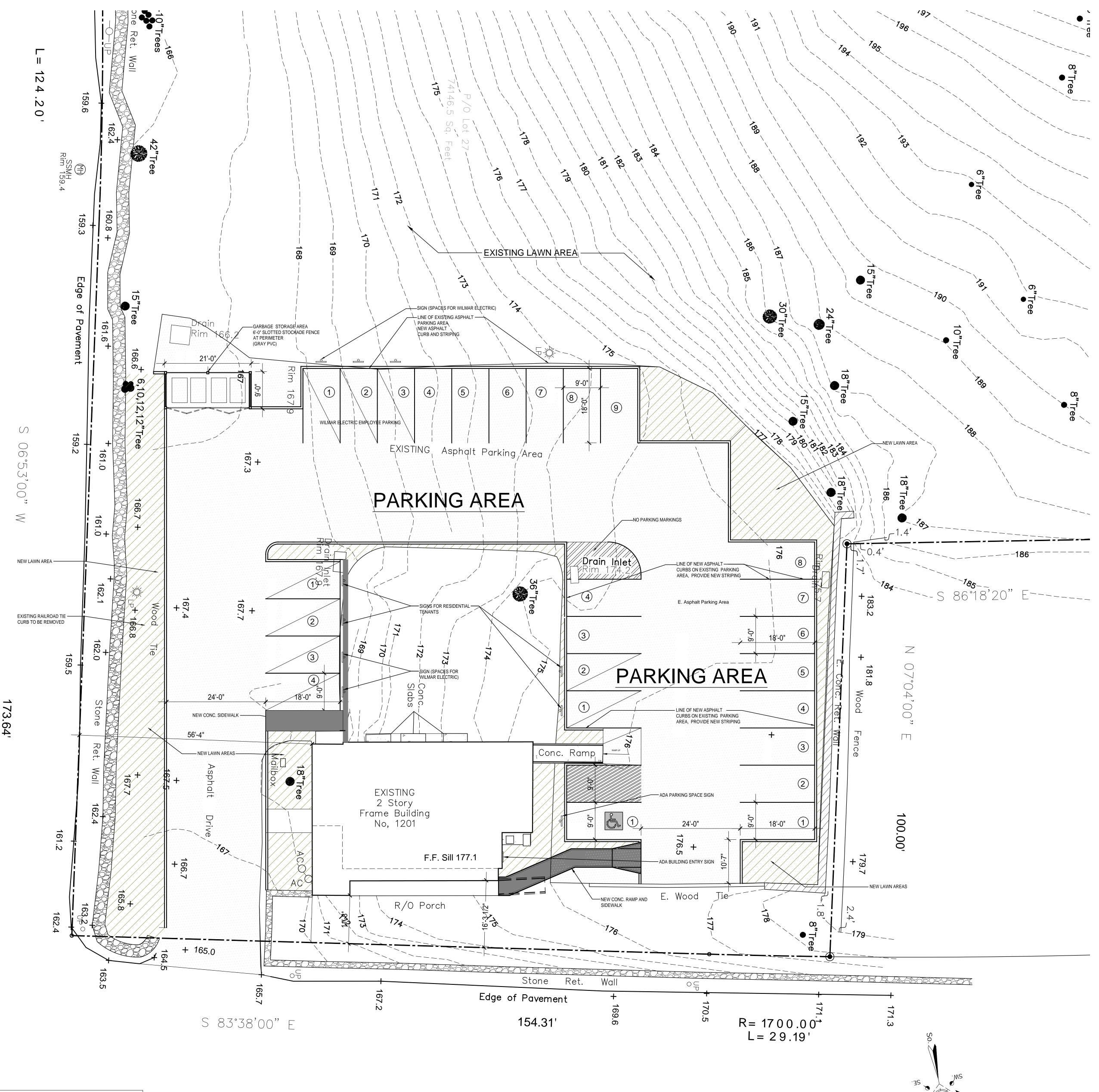
**Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information						
Name of Action or Project:						
Project Location (describe, and attach a location ma	ıp):					
Brief Description of Proposed Action:						
Name of Applicant or Sponsor:			Telephone:			
			E-Mail:			
Address:						
City/PO:			State:	Zip C	Code:	
1. Does the proposed action only involve the legis administrative rule, or regulation?	slative adoption of	f a plan, local	l law, ordinance,		NO	YES
If Yes, attach a narrative description of the intent of may be affected in the municipality and proceed to l				that		
2. Does the proposed action require a permit, appr If Yes, list agency(s) name and permit or approval:	roval or funding fi	rom any othe	r government Agency?		NO	YES
<ul><li>3. a. Total acreage of the site of the proposed action</li><li>b. Total acreage to be physically disturbed?</li><li>c. Total acreage (project site and any contiguous or controlled by the applicant or project spectrum)</li></ul>	ıs properties) own	ned	acres			
4. Check all land uses that occur on, are adjoining	or near the propos	sed action:				
□ Urban Rural (non-agriculture)	Industrial	Commercia	l Residential (sub	urban)		
<ul><li>Forest Agriculture</li><li>Parkland</li></ul>	Aquatic	Other(Spec	ify):			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?			
b. Consistent with the adopted comprehensive plan?			
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape	<u>-</u> 2	NO	YES
o. Is the proposed action consistent with the predominant character of the existing built of natural landscape			
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		NO	YES
If Yes, identify:			
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES
<ul><li>b. Are public transportation services available at or near the site of the proposed action?</li></ul>			
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?			
9. Does the proposed action meet or exceed the state energy code requirements?		NO	YES
If the proposed action will exceed requirements, describe design features and technologies:			
10. Will the proposed action connect to an existing public/private water supply?		NO	YES
If No, describe method for providing potable water:			
11. Will the proposed action connect to existing wastewater utilities?		NO	YES
If No, describe method for providing wastewater treatment:			
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or distr	ict	NO	YES
which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	ne		
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?			
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?			
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
$\Box$ Shoreline $\Box$ Forest Agricultural/grasslands Early mid-successional		
Wetland 🗆 Urban Suburban		1
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
16. Is the project site located in the 100-year flood plan?	NO	YES
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,		
a. Will storm water discharges flow to adjacent properties?		
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:		
49. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:		
20 Her the site of the manual estimates and disining another here the achieved of some disting (another or	NO	VEC
20.Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:		
		<u> </u>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BE MY KNOWLEDGE	ST OF	
Applicant/sponsor/name: Date:		
Signature:Title:		



SITE PLAN

CERTIFICATION

ALL EXISTING INFORMATION ON THIS SITE PLAN WAS TAKEN FROM A SURVEY PREPARED BY :

SCALE: 1" = 20'-0"

SPINELLI SURVEYING 650 HALSTEAD AVENUE MAMARONECK, NY 10543 WWW.SPINELLISURVEYING.COM TEL. : (914) 381-2357 DATED : 2-12-24 ARCHITECT IS NOT RESPONSIBLE FOR ACCURACY

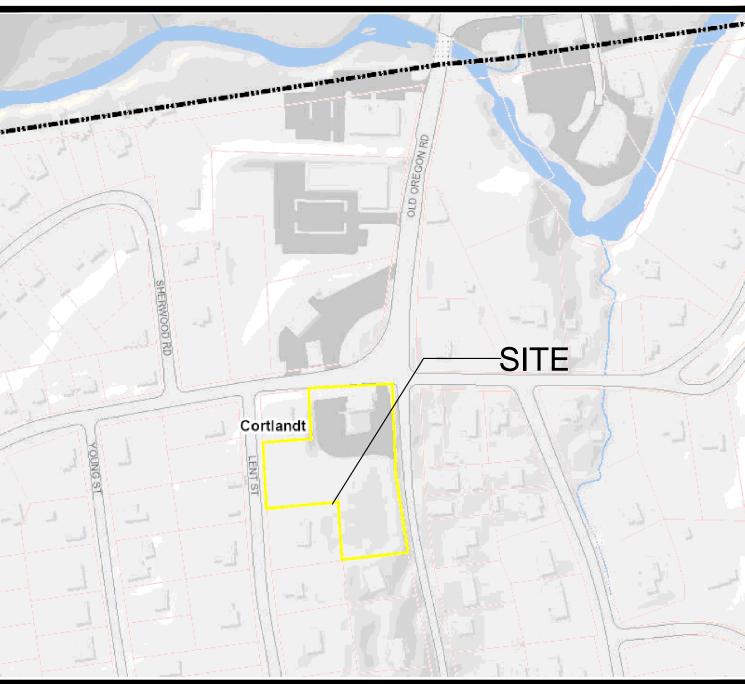
OF EXISTING CONDITIONS

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# LIST OF DRAWINGS

No.	DRAWING NAME
SP-100	SITE PLAN/ SCHEDULES
SP-101	SITE DETAILS
SU	SURVEY
GN	GENERAL NOTES SHEET
A100	BASEMENT PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A200	ELEVATIONS
A201	ELEVATIONS
S100	FIRST FLOOR FRAMING PLAN
S200	SECOND FLOOR FRAMING PLAN
S201	CEILING FRAMING PLAN

LOCATION MAP NOT TO SCALE



ZONING SCHEDULE TOWN OF CORTLAND							
ZONE / USE : CC							
ITEM	REQUIRED		PROVIDED				
PARKING							
MULTIFAMILY DWELING	1 1/2 SPACES/UNIT	2 UNITS 3 SPACES	3 SPACES				
OFFICES- (PROFESSIONAL)	1 PER 400 SQ. FT.	1,753.8 sq. ft. 5 SPACES	5 SPACES				
BUSINESS-(OFFICES) (WILMAR ELECTRIC COMP.)	1 PER 400 SQ. FT.	1,631.6 sq.ft. 4 SPACES	7 SPACES				
			25 SPACES 1 HC SPACES				

Studio rai Architectural Design P.C.
50 FIFTH AVE. PELHAM, NY 10803 914.273.6843 WWW.STUDIORAI.COM

ARCHITECTS

HEATING AIR CONDITIONING

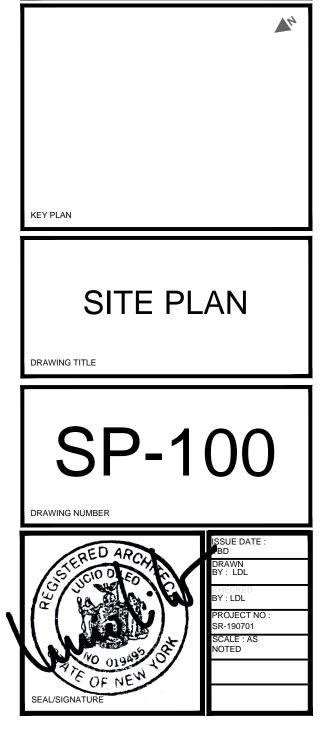
STRUCTURAL ENGINEERS

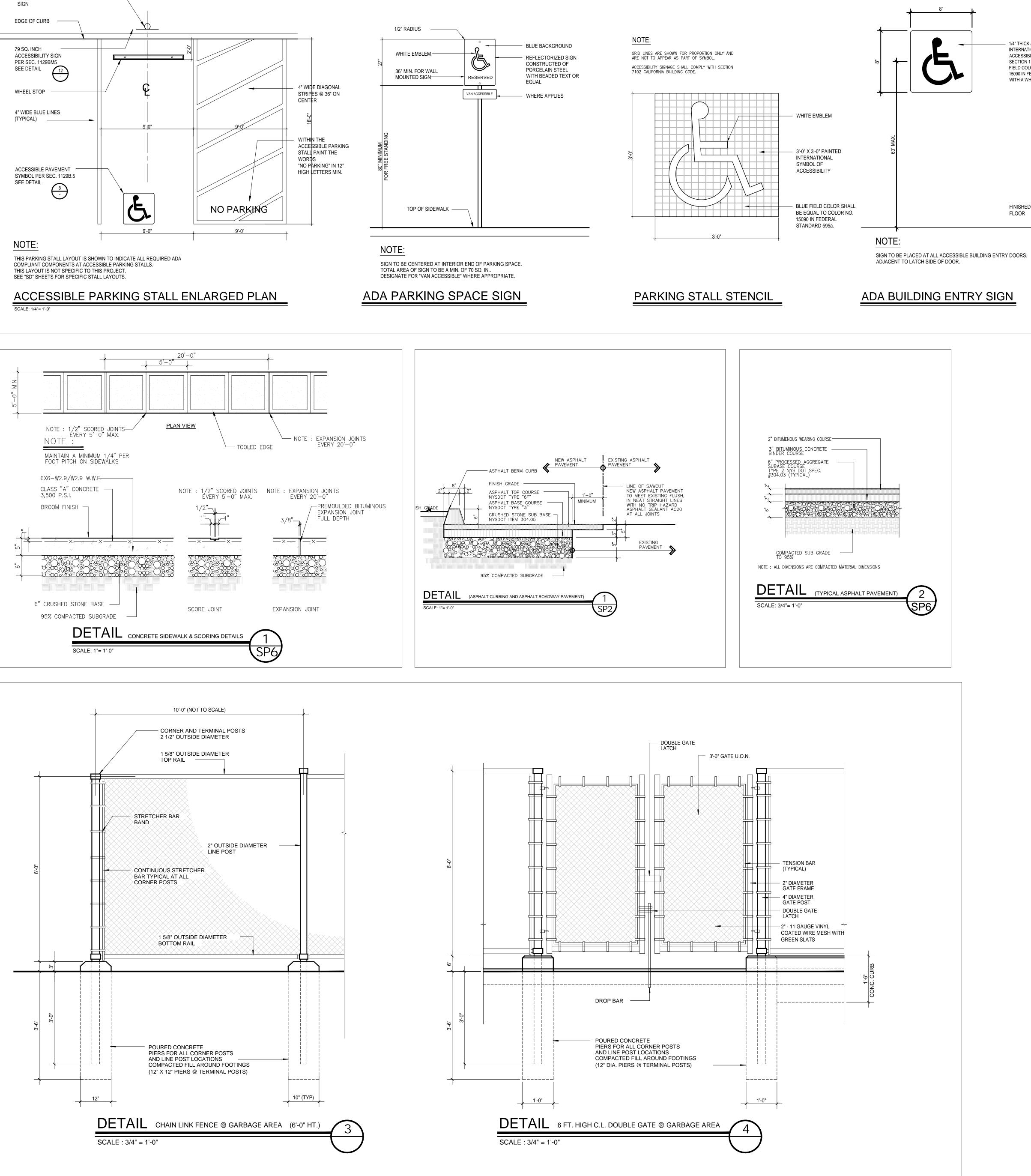
CONSULTAN

PROPOSED RESIDENCE 1201 OREGON ROAD CORTLAND, NY 10567

No. Revision	Date	Description	
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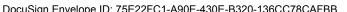
INGS AND SPECIFICATIONS AS INSTRUMENTS DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF STUDIO RAI, ARCHITECTS. WITHOUT THE WRITTEN AUTHORIZATION OF STUDIO RAI, ARCHITECTURAL DESIGN P.C. IS PROHIBITED. THIS DOCUMENT IS INTENDED SOLELY FOR THE CONSTRUCTION OF THE PROJECT NAMED HEREIN AND SHALL NOT BE USED BY ANY OTHER PARTIES FOR ANY OTHER CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF STUDIO RAI, ARCHITECTS.

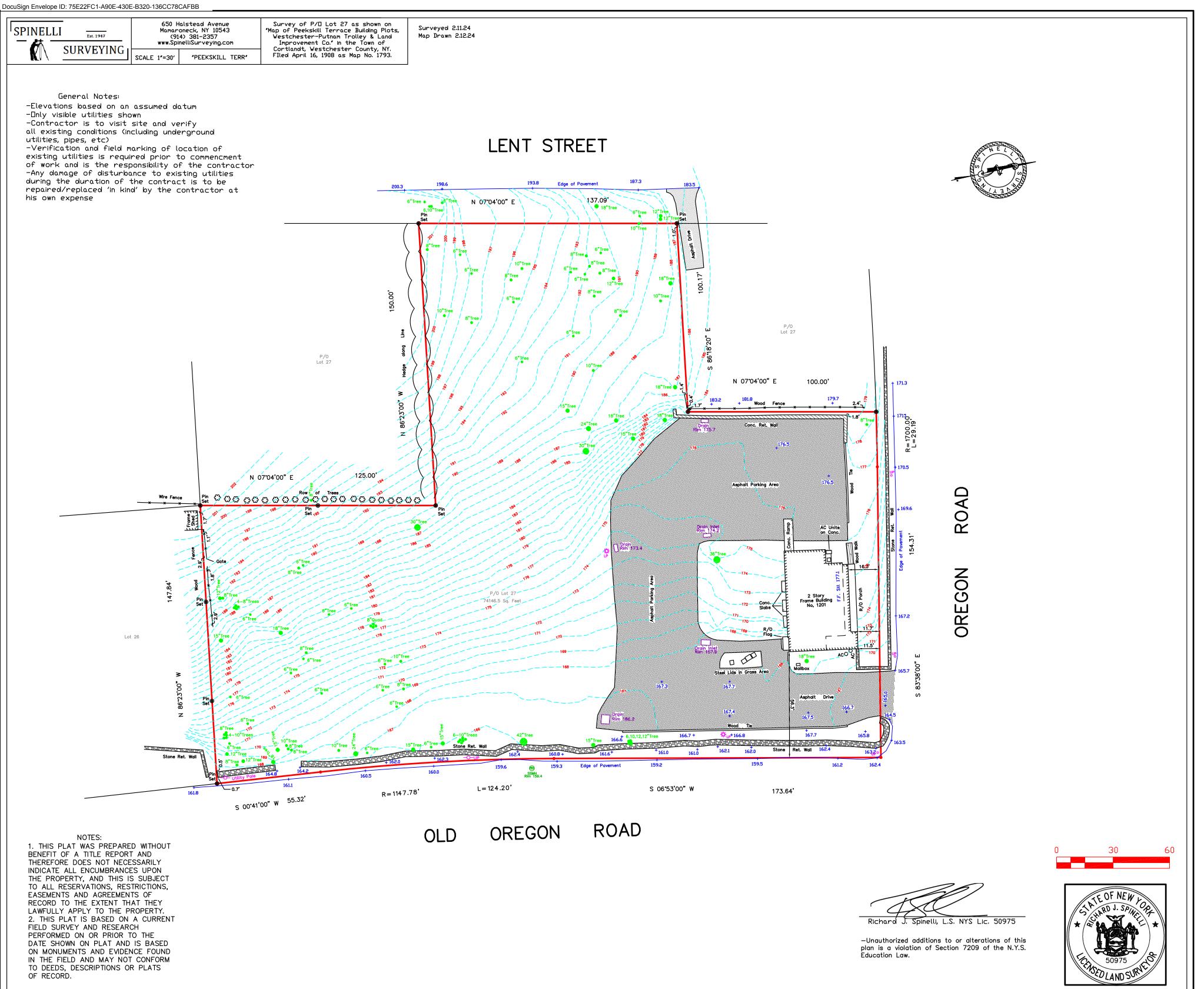




# 1/4" THICK ACRYLIC PLASTIC INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN PER CBC SECTION 1129B.4. FIELD COLOR TO BE BLUE NO. 15090 IN FEDERAL STANDARD 595a, WITH A WHITE EMBLEM. FINISHED -FLOOR

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50 FIFTH AVE PELHAM, NY 914.273.6843 WWW.STUDIO	10803		
ARCHITECTS			
HEATING AIR	CONDITIONIN	G	
STRUCTURAL	ENGINEERS		
CONSULTANT			
PROPOSED	N ROAD		
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# SECTION 1: GENERAL DATA

1. ALL WORK SHALL COMPLY WITH 2020 NYS SUPPLEMENT AND LOCAL CODES AND ORDINANCES, AND SHALL BE DONE TO THE HIGHEST INDUSTRY STANDARDS.

2. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. 3. CONTRACTOR, BY SUBMITTING HIS BID, REPRESENTS THAT HE HAS VISITED THE PROJECT LOCATION AND AGREES WITH PLANS AND DETAILS AS REPRESENTING THE FULL EXTENT OF CONSTRUCTION. IF CONTRACTOR HAS FOUND THAT PLANS AND DETAILS ARE AT VARIANCE WITH WHAT IS PHYSICALLY IN THE FIELD, HE SHALL NOTIFY THE ARCHITECT OR OWNER BEFORE SUBMITTING HIS BID.

4. ALL MATERIALS SHALL BE NEW AND OF THE BEST QUALITY.

# SECTION 2 : SITE WORK

1. DO NOT BACK FILL AGAINST FOUNDATION WALLS UNTIL MORTAR AND/OR CONCRETE HAVE ATTAINED DESIGNED STRENGTH.

2. DO NOT BACK FILL AGAINST FOUNDATION WALLS UNTIL FIRST FLOOR PLATFORM IS IN PLACE.

3. AT NO TIME SHALL BULLDOZERS. TRUCKS OR OTHER HEAVY EQUIPMENT BE PERMITTED TO APPROACH FOUNDATION WALLS CLOSER THAN 8 FEET. 4. AREAS UNDER CONCRETE FLOOR SLABS TO BE BACK FILLED WITH CLEAN FREE DRAINING MATERIAL AND FULLY COMPACTED TO 95% OF PROCTOR DENSITY WITH POWER TAMPER. PLACE FILL IN 12" MAX. LIFTS.

5. THE CONTRACTOR SHALL VERIFY ALL DRAWINGS FOR COORDINATION'S BETWEEN TRADES; PROVIDE AND/OR INSTALL ANCHORS, INSERTS, HANGERS, ETC., AS REQUIRED FOR VARIOUS TRADES.

6. ALL FOOTINGS SHALL BE PLACED DIRECTLY ON UNDISTURBED SOIL WITH A MIN. BEARING CAPACITY OF 2 TONS/SQ.FT OR SOLID ROCK.

7. ALL EXTERIOR FOOTINGS SHALL BE PLACED AT A MINIMUM OF 3'-6" BELOW FINAL GRADE (UNLESS ON SOUND ROCK). ELEVATIONS OF BOTTOM OF FOOTINGS SHOWN ON PLANS ARE FOR ESTIMATING PURPOSED AND SHALL BE ADJUSTED TO REQUIRED BEARING STRATA AS FOUND UPON EXCAVATION. FOOTINGS SHALL NOT BE PLACED ONROCK WHOSE SURFACE SLOPES MORE THAN 10%.

8. WHERE FOOTINGS ARE STEPPED, BOTTOMS TO BE STEPPED NOT MORE THAN ONE FOOT VERTICAL TO TWO FEET HORIZONTAL.

# SECTION 3 : CONCRETE

CONCRETE GENERAL NOTES

1. CONCRETE IS TO BE PLACED IN CONFORMANCE WITH A.C.I. 304, LATEST ADDITION. CONCRETE IS NOT TO BE SUBJECT TO DROPS OF MORE THAN 5'-0".

2. ALL CONCRETE IS TO BE CONTROLLED STONE CONCRETE COMPLYING WITH ALL A.C.I. BUILDING CODE REQUIREMENTS. CONCRETE IS TO HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS. SEE FOUNDATION PLANS FOR LOCATIONS OF CONCRETE WITH A HIGHER COMPRESSIVE STRENGTH.

3. ALL POURS ARE TO BE TERMINATED BY FORMS. PROVIDE KEY WAYS AS INDICATED ON THE DRAWINGS AND AS DIRECTED BY THE ARCHITECT

4. ALL CONCRETE IS TO BE FORMED, UNLESS OTHERWISE APPROVED BY THE ARCHITECT.

5. OBTAIN CONCRETE MANUFACTURER'S CERTIFICATES OF COMPLIANCE SHOWING CONCRETE CLASS, AGGREGATE SIZES, ADDITIVES USED AND FIBER MESH REINFORCEMENT (IF APPLICABLE).

6. THE FOUNDATION SUBCONTRACTOR IS TO OBTAIN CONCRETE TEST CYLINDERS FOR EACH CLASS OF CONCRETE SPECIFIED. TAKE WO (2) CYLINDERS EACH FOR EACH 150 CU. YDS. OR FRACTIONS THEREOF. TEST ONE (1) CYLINDER AT SEVEN (7) DAYS AND ONE (1) CYLINDER AT 28 DAYS. CYLINDER TESTS TO BE PERFORMED BY A CERTIFIED TESTING LABORATORY. TEST REPORTS ARE TO INCLUDE CONCRETE CLASS, SLUMP, GAGE AND LOCATION OF CONCRETE. SUBMIT THREE (3) COPIES OF TEST REPORTS TO THE ARCHITECT FOR REVIEW AND APPROVAL

7. THE FOUNDATION SUBCONTRACTOR IS TO SUBMIT FOUR (4) COPIES OF THE STEEL REINFORCEMENT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL. THE SHOP DRAWINGS ARE TO INDICATE REINFORCEMENT TYPE, SIZES, QUANTITIES, PLACEMENT AND ALL BENDS AND LAPS FOR ALL FOUNDATION REINFORCEMENT AS INDICATED ON THE DRAWINGS.

8. ALL STEEL REINFORCEMENT IS TO BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL A-615 GRADE 60. BENDS IN REINFORCEMENT ARE TO BE SHOP FABRICATED. FIELD BENDS WILL NOT BE PERMITTED.

9. ALL REINFORCEMENT STEEL IS TO BE SECURELY WIRED TOGETHER IN THE FORMWORK. TWO WAY MATS OF STEEL ARE TO BE TIED AT ALTERNATE INTERSECTIONS BOTH WAYS.

10. THE FOUNDATION SUBCONTRACTOR IS TO PROVIDE HIGH CHAIRS, SPACERS, SUPPORTS, ETC. AS NECESSARY FOR THE PROPER PLACEMENT OF THE REINFORCEMENT STEEL.

11. PROVIDE CLEARANCES FROM FACES OF CONCRETE TO REINFORCEMENT AS FOLLOWS:

CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH -------3"

EXPOSED TO EARTH OR WEATHER (#5 BAR OR SMALLER) -----1 1/2"

EXPOSED TO EARTH OR WEATHER (#6 BAR OR LARGER) ------2"

NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH:

SLABS, WALLS AND JOISTS ------3/4" BEAMS, GIRDERS, COLUMNS (PRINCIPAL REINFORCEMENT, TIES,

STIRRUPS OR SPIRALS) -----1 1/2"

12. LENGTH OF REINFORCEMENT SPLICES ARE TO CONFORM TO A.C.I. BUILDING CODE REQUIREMENTS, BUT IN NO CASE ARE THE SPLICES TO BE LESS THAN 30 BAR DIAMETERS OR AS OTHERWISE APPROVED BY THE ARCHITECT.

13. WELDED WIRE FABRIC IS TO CONFORM TO A.S.T.M. SPECIFICATION A-185.

14. ALL SLABS ON GRADE ARE TO BE REINFORCED WITH WELDED WIRE FABRIC 3/4" DOWN FROM TOP OF SLAB, AND OVER ANY PIPES OR CONDUITS IN THE SLAB. SIZE AND TYPE TO BE AS INDICATED ON THE DRAWINGS, BUT IN NO CASE IS THE W.W.F. TO BE LESS THAN 6x6 - W1.4/W1.4 W.W.F. FOR 4" SLABS. FIBER MESH REINFORCEMENT INTEGRAL WITH THE CONCRETE MIX MAY BE SUBSTITUTED FOR W.W.F. IN 4" SLABS ON GRADE.

15. W.W.F. IS TO LAP ONE FULL MESH SQUARE AT ALL SIDE AND END LAPS, AND BE WIRED TOGETHER.

16. POUR SLABS ON GRADE IN ALTERNATING LANE PATTERNS NOT TO EXCEED 800 S.F. IN AREA, OR MORE THAN 40 FEET IN LENGTH BETWEEN CONSTRUCTION OR EXPANSION JOINTS. PROVIDE DIAMOND SHAPED ISOLATION JOINTS AT ALL INTERIOR COLUMNS. EXPANSION JOINTS ARE TO BE MADE FROM PRE FORMED ASPHALT IMPREGNATED FIBERBOARD.

17. PLACE A MINIMUM OF 4" CRUSHED STONE UNDER ALL SLABS ON GRADE.

18. INSTALL 6 MIL POLYETHYLENE VAPOR BARRIER UNDER ALL SLABS ON GRADE, LAP ENDS A MINIMUM OF 6" AND TAPE.

19. PROVIDE EXPANSION JOINTS BETWEEN ALL SLABS AND VERTICAL SURFACES, BETWEEN SIDEWALK SLABS AND CURBS, SIDEWALK SLABS AND EXTERIOR WALLS AND IN SIDEWALK SLAB SPACED A MAXIMUM OF 10'-0" O.C.

20. PROVIDE 1/4" x 1" DEEP SAW CUTS (CUT INTO SLABS WITHIN 24 HOURS OF POUR) OR FORMED JOINT FILLED WITH SEALER AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT.

21. THE FOUNDATION CONTRACTOR IS TO ASCERTAIN THE LOCATIONS OF ALL SLEEVES, INSERTS, ANCHOR BOLTS AND EMBEDMENTS REQUIRED BY ALL OTHER TRADES. SUCH EMBEDMENTS ARE TO BE CHECKED FOR COMPLETENESS AND PROPER LOCATION PRIOR TO CONCRETE BEING PLACED.

22. NOTIFY THE BUILDING AS LEAST 24 HOURS PRIOR TO THE PLACEMENT OF CONCRETE FOOTINGS FOR REQUIRED INSPECTIONS. 23. CURING OF CONCRETE IS TO START AS SOON AS THE FINISHES WILL NOT BE MARRED THEREBY. DELAYING THE CURING PROCESS WILL NOT BE PERMITTED.

24. ALL COLD WEATHER CONCRETING TO BE PERFORMED IN ACCORDANCE WITH ALL RECOMMENDATIONS OF THE A.C.I. PROVIDE AND INSTALL TEMPORARY INSULATING BLANKETS AS REQUIRED TO PROTECT CONCRETE FROM FREEZING, CORROSIVE ADMIXTURES SUCH AS THOSE CONTAINING CALCIUM CHLORIDE MAY NOT BE USED.

25. PROVIDE NON-SHRINK GROUT UNDER ALL LEVELING PLATES AND BEARING PLATES.

26. APPLY TROWEL FINISH TO ALL MONOLITHIC SLAB SURFACES EXPOSED TO VIEW OR RECEIVING FLOORING. VARIATIONS IN FLOOR SLABS ARE NOT TO EXCEEDED 1/8" IN 10'-0" UNLESS SLAB PITCHES TOWARD FLOOR DRAIN.

27. APPLY NON-SLIP BROOM FINISHES TO ALL EXTERIOR WALKS, GARAGE FLOORS AND ELSEWHERE AS INDICATED ON THE DRAWINGS.

28. INSTALL CONCRETE SLAB SEALER TO ALL INTERIOR SLABS EXPOSED TO VIEW NOT RECEIVING FINISHES TO PREVENT DUSTING U.O.N.

# SECTION 4 : MASONRY

STONE AND CONCRETE MASONRY WALLS SHALL CONFORM TO THE RECOMMENDED PRACTICE FOR ENGINEERED BRICK MASONRY", LATEST EDITION BY STRUCTURAL CLAY PRODUCTS INSTITUTE, AND "SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY" BY NATIONAL CONCRETE MASONRY ASSOCIATION.

3. MORTAR SHALL BE TYPE M OR S MIN. 1 PART PORTLAND CEMENT, 1/4 TO 1/2 PART HYDRATED LIME, AND 2-1/4 TO 3 PARTS SAND.

4. STORE ALL UNITS OFF GROUND TO PREVENT CONTAMINATION. COVER MATERIALS TO PROTECT FROM THE ELEMENTS.

5. NO AIR-ENTRAINING ADMIXTURES OR ANTIFREEZE COMPOUNDS, SUCH AS CALCIUM CHLORIDE SHALL BE ADDED TO MORTAR.

8. ALL WALLS SHALL BE ADEQUATELY BRACED UNTIL SECURELY TIED TO THE STRUCTURE. NO WORK SHALL BE DONE SUBJECT TO FREEZING CONDITIONS.

9. STEEL LINTELS SHALL HAVE MINIMUM OF 5" BEARING. PRECAST LINTELS SHALL HAVE MINIMUM BEARING OF 8". BEARING POINTS SHALL BE GROUTED SOLID FOR THREE COURSED BELOW LINTEL

# SECTION 5 : METALS

2. MATERIALS FOR STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS: BEAMS, GIRDERS, MISC. STEEL: A36 PLATES : A36

3. ALL BOLTED CONNECTIONS SHALL BE MADE USING A325-F BOLTS, 3/4" DIAMETER INSTALLED IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL JOINTS" USING A325 OR A490 BOLTS: UNLESS OTHERWISE DETAILED. 4. STEEL CONCRETE REINFORCEMENT : BARS : NEW BILLET STEEL DEFORMED BARS, ASTM A 615, GRADE 60 SIZED AS NOTED ON

5. PROVIDE 1/2" DIAMETER X 1'-6" LONG MINIMUM THREADED ANCHORS BOLTS AT 6'-0" O.C. MAXIMUM, MINIMUM 2 PER PLATE TO

C.M.U.

TO BE DONE. ALL WELDS AND BARE SPOTS SHALL RECEIVE TOUCHUP PAINTING.

UNLESS NOTED OTHERWISE).

1. ALL FRAMING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR STRESS GRADED LUMBER AND ITS FASTENINGS" AS PUBLISHED BY THE NATIONAL LUMBER MANUFACTURERS ASSOCIATION.

# ON DRAWINGS.

5. PROVIDE ALL REQUIRE 2 X FIRE BLOCKING AS SPECIFIED IN SECTION 602.8 OF RESIDENTIAL CODE OF NEW YORK STATE. WERE PARTIONS AT 10'-0" OR TALLER, INSTALL 2 X FIRE BLOCKING "CATS" AT MID POINT.

8. ALL BEAMS AND JOISTS AND RAFTERS TO BE SET WITH NATURAL CROWN UP.

9. PROVIDE DOUBLE RAFTERS AND HEADERS AROUND ALL ROOF SKYLIGHTS UNLESS OTHERWISE NOTED ON PLANS.

10. PROVIDE (2) 2X8 MINIMUM HEADER WHERE ROUGH OPENING DOES NOT EXCEED 3'-0".

11. PLYWOOD FOR SUBFLOOR SHEATHING SHALL BE 3/4" AND 1/2" ON WALLS AND ROOF SURFACES APA C-C PLUGGED EXTERIOR OR APA UNDERLAYMENT EXTERIOR. INDEX STAMP SHALL BE VISIBLE ON ALL SHEETS.

12. PLYWOOD SHALL BE NAILED TO JOISTS WITH 8D COMMON NAILS AT 6" ON CENTER AT EXTERIOR EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORT.

13. USE PLY CLIPS OR OTHER EDGE SUPPORT FOR ALL PLYWOOD SHEATHING. 14. PLACE FACE GRAIN IN DIRECTION OF SPAN (TRAVERSE TO JOIST SPAN.).

15. LEAVE 1/16" SPACE AT ALL PLYWOOD PANEL AND JOINTS AND 1/8" SPACE AT ALL PANEL EDGE JOINTS. 16. JOIST HANGERS, FRAMING ANCHORS AND RAFTER ANCHORS SHALL BE HOP DIPPED GALVANIZED, "ZMAX" GALVANIZED COATED OR STAINLESS STEEL FOR PRESSURE TREATED LUMBER AS MANUFACTURED BY "SIMPSON" OR APPROVED EQUAL. GALVANIZED OR STAINLESS STEEL SPECIALITY NAILS AS SUPPLIED BY MANUFACTURER SHALL BE USED FOR REQUIRED

NAILING. 17. METAL CROSS BRIDGING SHALL BE GALVANIZED STEEL AS MANUFACTURED BY "TECO", "SIMPSON" OR APPROVED EQUAL, AND INSTALLED ACCORDING TO MANUFACTURERS DIRECTIONS

AFTER ENTIRE STRUCTURE IS COMPLETE. 19. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS. 20. WHERE SHEATHING IS NOT PLYWOOD, DIAGONAL BRACING SHALL BE LET IN AT EXTERIOR CORNERS OR BRACE

21. CORNER BOARDS, FASCIA BOARDS, DOORS AND WINDOWS CASINGS, AND DECORATIVE WOOD ITEMS SHALL BE WOOD 5/4" OR 3/4" NO.1 PINE OF SIZE, STYLE AND DESIGN AS INDICATED ON THE DRAWINGS. BACK PRIME PAINTED TRIM. 22. EXTERIOR WOOD POSTS SHALL BE PRESSURE TREATED WOOD, SET ON APPROVED TYPE HEAVY DUTY GALVANIZED METAL BASE, ANCHORED IN CONCRETE. BOXED FINISH TO MATCH WOOD TRIM.

PRESSURE TREATED WOOD.

24. PRESSURE PRESERVATIVES TREATMENT FOR WOOD SHALL BE APPROVED BY LOCAL AUTHORITIES HAVING JURISDICTION.

25. PROVIDE (3) 2"X6" SPIKED AT BEARING POINTS OF ALL TRIPLE FRAMING MEMBERS UNLESS OTHERWISE NOTED.

2. ALL UNITS SHALL BE PLACED IN RUNNING BOND, EXCEPT WHERE INDICATED.

6. THE FIRST BLOCK COURSE ON FOOTING SHALL BE FILLED SOLID WITH CONCRETE.

7. VERTICAL CONTROL JOINTS SHALL BE PLACED AT THE MAXIMUM DISTANCE OF 50' ON CENTER FOR STRAIGHT WALLS. CONTROL JOINTS SHALL BE CONSTRUCTED USING SASH BLOCKS AND DUR-O-WAL PERFORMED REGULAR RAPID CONTROL JOINT. WALL REINFORCEMENT SHALL BE DISCONTINUOUS AT JOINTS.

1. STEEL CONSTRUCTION SHALL CONFORM TO AISC "MANUAL OF STEEL CONSTRUCTION", LATEST EDITION

DRAWINGS. WELDED WIRE FABRIC (WWF): ASTM A185, SIZES AS NOTED ON DRAWINGS.

ANCHOR EXTERIOR SILLS. ANCHOR BOLTS SHALL BE ON A36 OR A307 STEEL. EMBODIMENT TO BE 8" FOR POURED CONCRETE, 15" FOR

6. ALL STEEL SHALL BE SHOP PAINTED WITH GRAY ZINC CHROMATE PRIMER 2.0 MILS. IN THICKNESS, EXCEPT WHERE FIELD WELDING IS

7. ALL COLUMNS UNLESS OTHERWISE NOTED, SHALL BE 4" DIAMETER STANDARD WEIGHT (MIN.) STEEL PIPE COLUMNS WITH BEARING PLATES AT TOP AND BOTTOM WELDED TO COLUMN. PRIME COAT OF PAINT TO BE APPLIED AFTER WELDING. (10"X10"X5/8" BOTTOM PLATE.

# SECTION 6: WOOD AND PLASTICS

2. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL FREE FROM LARGE AND LOOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED AND OF SIZED INDICATED

3. ALL WORKMANSHIP INCLUDING NAILING, BLOCKING, BRIDGING, ETC. SHALL CONFORM TO THE NYSUFPBC.

4. PROVIDE LEDGER BOARDS, BLOCKING, NAILERS, AND ROUGH FRAMING HARDWARE AS REQUIRED.

6. ALL NEW LUMBER SHALL BE DOUGLAS FIR, NO 2 OR BETTER, WITH MIN. FB=1250 PSI AND E 1,500,000 PSI.

7. ALL LUMBER SHALL BEAR VISIBLE GRADE STAMPING AND BE KILN DRY.

18. PROVIDE "X" BRIDGING OR SOLID BLOCKING EVERY 8'-0". BOTTOM ENDS OF BRIDGING SHALL NOT BE NAILED UNTIL

CORNERS WITH 1/2" CDX PLYWOOD 4'-0" IN EACH DIRECTION.

23. WOOD PLATES AND SILLS IN CONTACT WITH CONCRETE FOUNDATION WALLS AND CONCRETE SLABS SHALL BE

# SECTION 7 : THERMAL AND MOISTURE PROTECTION

## 1. FOUNDATION TO BE WATERPROOFED WITH AN APPROVED TYPE, BITUTHENE COATING APPLIED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND INSTALLATION RECOMMENDATIONS.

2. PROVIDE 4" PVC FOOTING DRAINS WITH GRAVEL ALONG FOOTING OUT TO DAYLIGHT.

3. ALL WINDOWS, DOORS AND SKYLIGHTS TO BE WEATHER-STRIPPED AND CAULKED.

4. ALL SEALANTS TO BE SILICONE. COLORED TO MATCH SURROUNDING MATERIAL

5. ALL FLASHING SHALL BE NONFERROUS METAL (UNLESS OTHERWISE NOTED). FABRIC FLASHING MAY ONLY BE USED WITH WRITTEN APPROVAL OF THE ARCHITECT.

6. ALL ROOF TO ROOF, AND ROOF TO WALL JOINTS SHALL BE CONTINUOUSLY FLASHED. 7. ALL ROOFS DESIGNATED AS HAVING ASPHALTIC FIBERGLASS SHINGLE ROOFING SHALL HAVE 1 (ONE) LAYER OF 15 **# ROOF FELT OVER PLYWOOD SHEATHING.** 

8. INSTALL 30 # FELT PAPER WERE ROOFS DESIGNATED AS HAVING METAL ROOFING, SLATE OR CLAY TILE ROOFS. 9. PROVIDE PROPER VENTILATION AT ALL ROOF CONDITIONS WITH SOFFIT VENTS, CONT, RIDGE VENTS, SCREENED

10. PROVIDE A MINIMUM OF 1" AIR SPACE BETWEEN SPRAY FOAM INSULATION AND UNDERSIDE OF ROOFING SHEATHING FOR VENTILATION.

11. ALL INSULATION TO BE SPRAY FOAM BARRIER INSTALLED ON THE HEATED SIDE (UNLESS OTHERWISE NOTED) 12. AT ALL PERIMETERS OF ROOF CORNICES. VALLEYS OR WERE VERTICAL WALL INTERSECT ROOF PLANE INSTYALL ONE LAYER OF ICE AND WATER SHIELD BY "GRACE" OR APPROVED EQUAL A MINIMUM OF 24" UP FROM FASCIA -(OR AS NOTED ON DRAWINGS).

# SECTION 8: WINDOWS AND DOORS

1. SEE ARCHITECTURAL DRAWINGS FOR SPECIFICATIONS OF ALL EXTERIOR AND INTERIOR WINDOWS AND DOORS.

2. ALL GLAZING IN DOORS, SHOWER / TUB ENCLOSURE AND DOORS, FIXED SIDE LIGHTS AND INTERIOR PARTITIONS WHERE SUCH GLAZING EXTENDS TO WITHIN 18" OF FLOOR LEVEL TO BE SHATTERPROOF TYPE GLASS, TEMPERED OR LAMINATED AS PER CODE REQUIREMENTS.

# SECTION 9: FINISHES

LOUVERS OR OTHER VENTILATION METHODS INDICATED.

1. SEE ARCHITECTURAL DRAWINGS FOR SPECIFIC FINISHES OF FLOORS, WALLS AND CEILINGS FOR BOTH INTERIOR AND EXTERIOR SPACES.

2. ALL INTERIOR DRYWALL SURFACE NOT REQUIRING A FIRE RATING SHALL BE 1/2" OR 5/8" (AS NOTED ON PLANS) GYPSUM WALL BOARD AND SHALL RECEIVE 3 (THREE) COATS OF JOINT COMPOUND, TAPED AND SPACKLED, SANDED, PRIMED AND READY TO RECEIVE 1 (ONE) FINISHED PAINT COAT.

3. ALL BATHROOM WALLS AND WET AREAS IN KITCHENS AND LAUNDRY ROOMS SHALL HAVE 1/2" WATER-RESISTANT GYPSUM WALL BOARD AND SHALL RECEIVE 3 (THREE) COATS OF JOINT COMPOUND TAPED AND SPACKLED, SANDED, PRIMED AND READY TO RECEIVE 1 (ONE) FINISHED PAINT COAT.

4. ALL SHOWERS, TUB AREAS, WALLS OR CEILINGS DESIGNATED TO RECEIVE A TILE FINISH SHALL HAVE CEMENTITIOUS BACKER BOARD WITH 3 (THREE) COATS CEMENT BOARD JOINT COMPOUND AND JOINT MESH AS REQUIRED PRIOR TO TILE APPLICATION.

5. ALL FLOORS DESIGNATED AS A MUD JOB APPLICATION FOR A TILE FLOOR SHALL HAVE 30 # FELT PAPER OVER PLYWOOD SUBFLOOR, WIRE LATH WITH A MINIMUM OF 1 1/4" THICK CEMENT - CONTRACTOR SHALL COORDINATE FRAMING AS REQUIRED FOR ALL ADJACENT FINISHED FLOORS TO BE FLUSH AND LEVEL WITH MUD JOB FINISHED FLOOR.

6. ALL FLOORS DESIGNATED AS A THIN SET APPLICATION FOR A TILE FLOOR SHALL HAVE 1/2" CEMENTITIOUS BOARD OVER PLYWOOD SUBFLOOR, CONTRACTOR SHALL COORDINATE FRAMING AS REQUIRED FOR ALL ADJACENT FINISHED FLOORS TO BE FLUSH AND LEVEL WITH THIN SET FINISHED FLOOR.

7. ALL FLOORS DESIGNATED AS FINISHED WOOD FLOORS SHALL HAVE ROSIN PAPER OVER PLYWOOD SUBFLOOR AND SHALL RECEIVE 1 (ONE) COAT OF SEALER AND A MINIMUM OF 2 (TWO) COATS OF POLYURETHANE. CONTRACTOR SHALL COORDINATE

8. ALL FLOORS DESIGNATED AS HAVING CARPETING SHALL HAVE 3/8" UNDERLAYMENT OVER PLYWOOD SUBFLOOR AND SHALL HAVE PADDING UNDER CARPETING.

9. ALL EXTERIOR TRIM SUCH AS WINDOW AND DOOR TRIM, FASCIAS, FRIEZES, MOLDING, WOOD PANELS, ETC. SHALL BE SECURED USING GALVANIZED FINISH NAILS - COUNTERSUNK, PUTTIED, SANDED AND SPOT PRIMED PRIOR TO PAINTING.

10. ALL EXTERIOR TRIM SUCH AS WINDOW AND DOOR TRIM, FASCIAS, FRIEZES, MOLDING, WOOD PANELS, ETC. SHALL BE EITHER FACTORY OR FIELD BACK PRIMED FRONT PRIMED AND RECEIVE 1 (ONE) EXTERIOR PAINT FINISH.

11. ALL ROOFING OR EXTERIOR WALL SIDING DESIGNATED AS CEDAR SHINGLES ON DRAWINGS SHALL BE (# 1 GRADE) RED CEDAR PERFECTION SHINGLES (BLUE LABEL) - EITHER FACTORY OR FIELD BACK PRIMED - WITH 2 (TWO) COATS OF FINISH STAIN. COORDINATE WITH ARCHITECT COLOR OF STAIN.

12. ALL ROOFING DESIGNATED AS ASPHALTIC FIBERGLASS SHINGLES SHALL BE 40 YEAR WARRANTY (MINIMUM) BY "TIMBERLINE OR APPROVED EQUAL. COORDINATE WITH ARCHITECT FOR SELECTION OF SHINGLE COLOR.

SECTION 10 :	SPECIALITIES
NO WORK UNDER THIS SECTION	
SECTION 11 :	EQUIPMENT
	EN APPLIANCES - CONTRACTOR SHALL INCLUDE IN BASE BID INSTALLATION O IANICAL AND /OR ELECTRICAL SYSTEMS AND CONNETCIONS REQUIRED FOR
SECTION 12 :	FURNISHINGS
NO WORK UNDER THIS SECTION	

## SPECIAL CONSTRUCTION SECTION 13 :

1. CONTRACTOR SHALL INCLUDE IN BASE BID ALL PLUMBING FIXTURES AND INSTALLATION AS INDICATED ON DRAWINGS INCLUDING ALL FITTINGS REQUIRED FOR PROPER WORKING CONDITIONS. (PROVIDE PRICING ALLOWANCES AS DETAILED IN INSTRUCTIONS TO BIDDERS).

2. CONTRACTOR SHALL INCLUDE IN BASE BID MATERIALS AND INSTALLATION OF ALL KITCHEN CABINETRY AND BUILT-INS AS INDICATED ON DRAWINGS. (PROVIDE PRICING ALLOWANCES AS DETAILED IN INSTRUCTIONS TO BIDDERS).

3. IF DRAWINGS INDICATE A NEW FIREPLACE - PROVIDE FRESH AIR INLET FOR FIREBOX AND AIR TIGHT NON-COMBUSTIBLE DOORS AT FIREPLACE OPENING COMPLYING WITH CHAPTER 10 OF RESIDENTIAL CODE OF NEW YORK STATE.

## SECTION 14 : CONVEYING SYSTEMS

NO WORK UNDER THIS SECTION

N BASE BID INSTALLATION OF

# SECTION 15: MECHANICAL

BEST PRACTICE.

#### 1. ALL PLUMBING SHALL BE DONE IN ACCORDANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE. THE PLUMBING CODE OF NEW YORK STATE, THE NATIONAL PLUMBING CODE, LOCAL CODES HAVING JURISDICTIONS AND

## 2. PROVIDE HVAC SYSTEM USING ELECTRIC HEAT PUMP AIR SYSTEM PROVIDE 4 SEPARATE ZONES AND INSTALL THERMOSTATS, INSTALL RADIANT FLOOR HEATING SYSTEM

USING QUICK TRACK METHOD. INSTALL RADIANT FLOOR IN KITCHEN AND MASTER BATHROOMS USING UNDER SHEATHING METHOD

#### 3. CONTRACTOR SHALL PROVIDE ALL LABOR. MATERIALS AND EQUIPMENT NECESSARY TO INSTALL PLUMBING. RELATED FIXTURES, VENTILATION, HEATING AND AIR CONDITIONING. ALL WORK SHALL COMPLY WITH NYSUFPBC AND LOCAL CODES AND ORDINANCES. SUBCONTRACTORS SHALL COORDINATE WORK WITH ALL OTHER TRADES.

4. HEATING AND AIR CONDITIONING EQUIPMENT SHALL BE SO SIZED AND INSTALLED TO MAINTAIN 68 DEGREE F

INDOOR TEMPERATURE WITH 0 DEGREES F OUTDOOR TEMPERATURE. 5. ALL HEATING AND AIR CONDITIONING, ACCESSORIES AND APPURTENANCES SHALL BE U.L. LISTED AND

INSTALLED IN ACCORDANCE WITH SAME.

6. BATHROOM, KITCHEN AND DRYERS SHALL BE EXHAUSTED IN ACCORDANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE.

7. MECHANICAL ROOM SHALL BE VENTED WITH FRESH AIR INTAKES IN ACCORDANCE WITH NFPA CODES # 31 OR #

8. PROVIDE SHUT OFF VALVES AL ALL FIXTURES AND APPLIANCES.

9. PIPING AS PER LOCAL CODE. INSULATE HOT AND COLD WATER SUPPLIES.

10. PROVIDE 4 FREEZE PROOF OUTDOOR HOSE BIBS WHERE INDICATED ON PLANS.

11. NO WATER PIPES OR SOIL OR WASTE LINES SHALL BE EXPOSED IN UNINSULATED AND UNHEATED SPACES IN THE CRAWL SPACE OR BASEMENT. WATER SERVICE SHALL BE PROTECTED FROM FREEZING WHERE EXPOSE IN UNHEATED SPACES.

12. PITCH ALL WATER LINES TO LOW POINT TO DRAIN AND PROVIDE DRAIN VALVE.

13. CONTRACTOR SHALL PROVIDE AND INSTALL ALL EQUIPMENT AND ACCESSORIES NECESSARY FOR AIR CLEANERS AND ACCESSORIES TO HVAC

14. CONTRACTOR SHALL PROVIDE AND INSTALL ALL EQUIPMENT AND ACCESSORIES NECESSARY FOR NEW HUMIDIFYING SYSTEM FOR ENTIRE HOUSE AT EACH AIR HANDLER

# SECTION 16 : ELECTRICAL

1. ELECTRICAL INSTALLATION WIRING AND EQUIPMENT SHALL CONFORM TO THE RESIDENTIAL CODE OF NEW YORK STATE AND THE NATIONAL ELECTRIC CODE (NFPA NO. 70 LATEST EDITION) 2. NEW 400 AMP SERVICE TO BE PROVIDED

# DESIGN LOAD ALLOWANCES

		CLIMAT	TA IC AND GEOG	ABLE R301.2 GRAPHIC DE		TERIA			
	WIND			SUBJECT TO D	AMAGE FROM				
GROUND SNOW LOAD	SPEED (MPH)	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMPERATURE	ice Shield UnderlayMen <sup>-</sup> Required	FLOOD HAZARDS
30 PSF	115 MPH	В	SEVERE	42"	VERY HEAVY	SLIGHT TO MODERATE	10^ F.	YES	YES
		UNIF	ORMLY DIST	RIBUTED L	VE LOAD	S (in psf)	•	•	•
USE				M	N. REQUI	RED PER 1	TABLE R301.4	P	ROVIDED
EXTER		DNCIES				60 PS	F		60 PSF
DECKS	6					40 PS	F		40 PSF
PASSE	NGER VEH	IICLE GARAGE	S			50 PS	F	50 PSF	
ATTICS	S WITHOUT	STORAGE				10 PS	F		10 PSF
ATTICS	S WITH STO	DRAGE				20 PS	F		20 PSF
ROOM	S OTHER T	AHN SLEEPIN	G ROOMS			40 PS	F		40 PSF
SLEEP	ING ROOM	S				30 PS	F		30 PSF
STAIR	S					40 PS	F		40 PSF
GUARI	DRAILS AN	D HANDRAILS				200 P	SF		200 PSF
			ROO	F DESIGN L	OAD				
GROUND MIN. ROOF LIVE LOAD REQUIRED PER ASCE 7						<u> </u>	ROVIDED		
	SNOW LOAD (FLAT ROOFS WITH 1/4" PER FT TO 3 ON 12 ROOF SLOPE) - 34.65 PSF					3	5 PSF		
		(3 ON 12 TO 6 ON 12 ROOF SLOPE) - 29.9 PSF				30 PSF			
45 P	'SF	(7 ON 12 OR GREATER ROOF SLOPE) - 22.5 PSF						3	0 PSF

# ENERGY CONSERVATION CONSTRUCTION CODE OF N.Y.S.

BUILDING TYPE: DESIGN DEGREE DAYS (PER TABLE 302.1) DESIGN TEMPERATURES (PER TABLE 302.1)

2020 NYS SUPPLEMENT SINGLE FAMILY RESIDENTIAL 5,750 (WESTCHESTER COUNTY) 7 DEGREES F. (WINTER DESIGN DRY BULB) 84 DEGREES F. (SUMMER DESIGN DRY BULB)

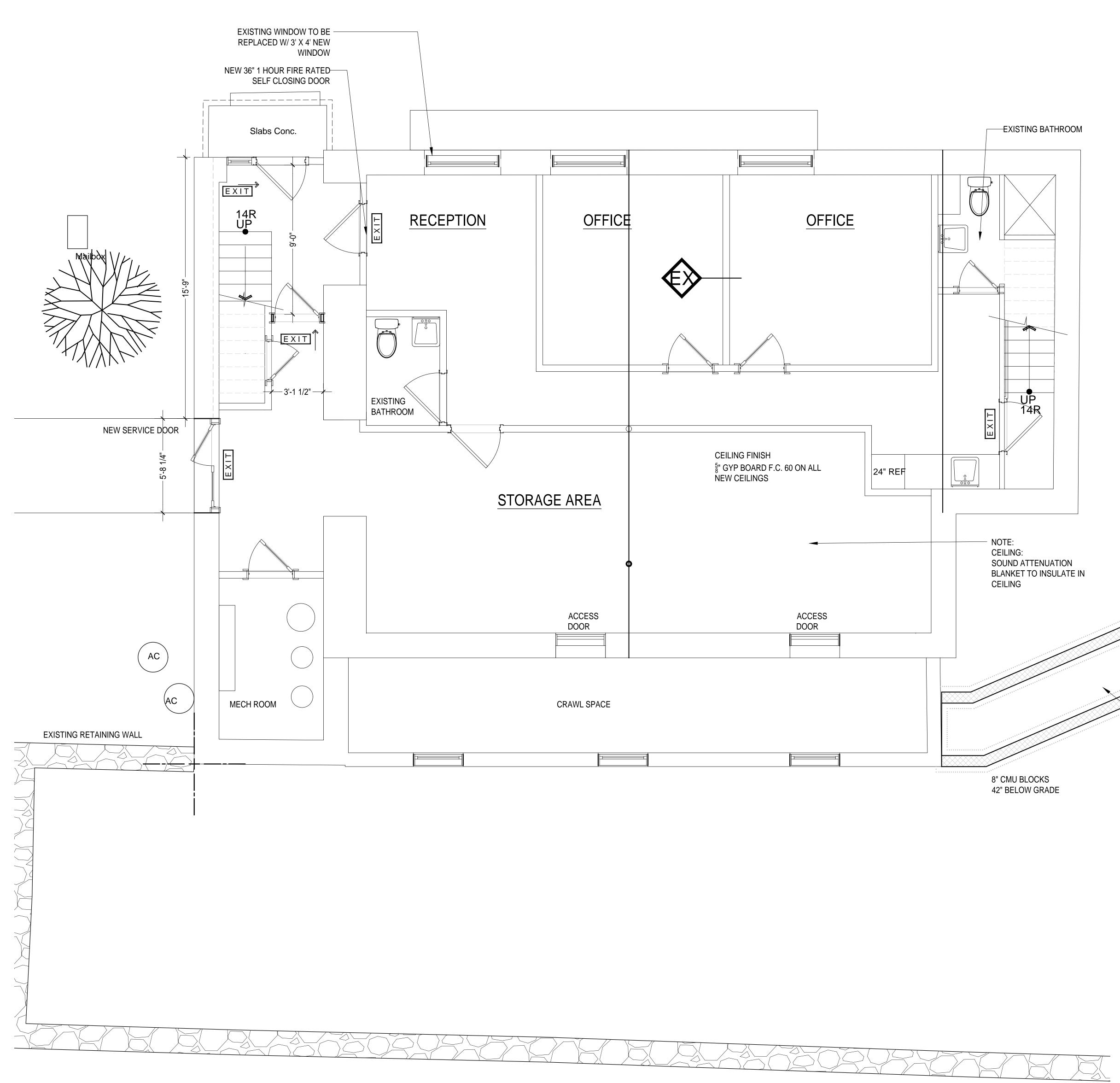
CODE DESIGN COMPLIANCE METHOD

CODE DESIGN COMPLIANCE METH	OD:	
ENVELOPE COMPONENT	MIN. R VALUE PROVIDED	MAX. U - FACTOR PROVIDED
GLAZING	N/A	U -0.40
SKYLIGTH	N/A	U -0.55
FENESTRATION	N/A	U -0.32
CEILING	R-49	
EXTERIOR WOOD FRAME WALL	R-20(CAVITY)+5(CC	NTINUOUS) OR 13(CAVITY)+10(CONTINUOUS
FLOOR	R-30	
BASEMENT WALL (CONDITIONED S	SPACE) R-15/19	
SLAB PERIMETER	R-10, 4 FT.	
CRAWLSPACE (UNVENTILATED)	R-15/19	

				] TABLE R4						
CLIMATE ZONE	FENESTRATION U-FACTOR <sup>b</sup>	SKYLIGHT <sup>b</sup> <i>U</i> -FACTOR	GLAZED FENESTRATION SHGC <sup>b, e</sup>	CEILING R- VALUE	WOOD FRAME WALL <i>R</i> - VALUE	MASS WALL <i>R</i> - VALUE <sup>i</sup>	FLOOR R- VALUE	BASEMENT <sup>c</sup> WALL <i>R</i> -VALUE	SLAB <sup>d</sup> <i>R</i> - VALUE & DEPTH	CRAWL SPACE <sup>c</sup> WALL <i>R</i> - VALUE
4	0.32	0.55	0.40	49	20 or 13+5 <sup>h</sup>	8/13	19	10/13	10, 2 ft	10/13
5	0.30	0.55	NR	49	20 or 13+5 <sup>h</sup>	13/17	30 <sup>g</sup>	15/19	10, 2 ft	15/19
6 Option 1	0.30	0.55	NR	49	20+5 <sup>h</sup> or 13+10 <sup>h</sup>	15/20	30 <sup>g</sup>	15/19	10, 4 ft	15/19
6 Option 2	0.28	0.55	NR	60	23 cavity	19/21	30 <sup>g</sup>	15/19	10, 4 ft	15/19

NR = Not Required.

Studi ( Architectura	D rai Il Design P.C.	
50 FIFTH AVE PELHAM, NY 914.273.6843 WWW.STUDIO	10803	
ARCHITECTS		
HEATING AIR	CONDITIONING	6
STRUCTURAL	. ENGINEERS	
CONSULTANT		
PROPOSED 1201 OREGO	N ROAD	
CORTLAND,		
No. Revision	Date De	escription
1	8-16-23	-
1 - -		-
1 - - - -		
1 - - - - - - - -		- - - - - - -
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1 - - - - - - - - - - - - - - - - - - -		
	8-16-23	
	8-16-23	ALL REMAIN THE FS. WITHOUT THE RAI, ARCHITECTURAL SUMENT IS INTENDED THE PROJECT NAMED NY OTHER PARTIES FOR
	8-16-23	ALL REMAIN THE FS. WITHOUT THE RAI, ARCHITECTURAL JUMENT IS INTENDED THE PROJECT NAMED
	8-16-23	ALL REMAIN THE FS. WITHOUT THE RAI, ARCHITECTURAL JUMENT IS INTENDED THE PROJECT NAMED INY OTHER PARTIES FOR THE WRITTEN CONSENT
	8-16-23	ALL REMAIN THE FS. WITHOUT THE RAI, ARCHITECTURAL JUMENT IS INTENDED THE PROJECT NAMED INY OTHER PARTIES FOR THE WRITTEN CONSENT
	8-16-23	ALL REMAIN THE FS. WITHOUT THE RAI, ARCHITECTURAL JUMENT IS INTENDED THE PROJECT NAMED INY OTHER PARTIES FOR THE WRITTEN CONSENT
	8-16-23	ALL REMAIN THE FS. WITHOUT THE RAI, ARCHITECTURAL JUMENT IS INTENDED THE PROJECT NAMED INY OTHER PARTIES FOR THE WRITTEN CONSENT
	8-16-23	ALL REMAIN THE TS. WITHOUT THE RAI, ARCHITECTURAL UMENT IS INTENDED THE PROJECT NAMED INY OTHER PARTIES FOR THE WRITTEN CONSENT
	8-16-23	ALL REMAIN THE FS. WITHOUT THE RAI, ARCHITECTURAL JUMENT IS INTENDED THE PROJECT NAMED INY OTHER PARTIES FOR THE WRITTEN CONSENT
	8-16-23	ALL REMAIN THE TS. WITHOUT THE RAI, ARCHITECTURAL UMENT IS INTENDED THE PROJECT NAMED INY OTHER PARTIES FOR THE WRITTEN CONSENT
	8-16-23	ALL REMAIN THE RS. WITHOUT THE RAI, ARCHTECTURAL SUMENT IS INTENDED THE PROJECT NAMED INY OTHER PARTIES FOR THE WRITTEN CONSENT NOTES NOTES
	8-16-23 - - - - - - - - - - - - -	ALL REMAIN THE RS. WITHOUT THE RAI, ARCHITECTURAL UMENT IS INTENDED THE PROJECT NAMED INY OTHER PARTIES FOR THE WRITTEN CONSENT NOTES NOTES
	8-16-23 - - - - - - - - - - - - -	ALL REMAIN THE RS. WITHOUT THE RAI, ARCHITECTURAL UMENT IS INTENDED THE PROJECT NAMED INY OTHER PARTIES FOR THE WRITTEN CONSENT NOTES
- - - - - - - - - - - - - - - - - - -	8-16-23	ALL REMAIN THE RS. WITHOUT THE RAI, ARCHITECTURAL UMENT IS INTENDED THE PROJECT NAMED INY OTHER PARTIES FOR THE WRITTEN CONSENT
- - - - - - - - - - - - - - - - - - -	8-16-23 - - - - - - - - - - - - -	ALL REMAIN THE RS. WITHOUT THE RAI, ARCHITECTURAL UMENT IS INTENDED THE PROJECT NAMED INY OTHER PARTIES FOR THE WRITTEN CONSENT



# BASEMENT FLOOR PLAN (WILMAR ELECTRIC OFFICES)

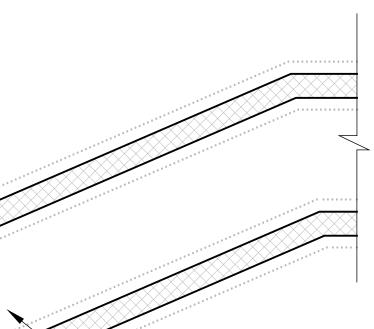
IS RESPONSIBLE FOR FIELD FOR PURPOSES	<u>NOTE:</u> ALL DIMENSIONS INDICATED ARE ROUGH FRAMING DIMENSIONS – CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FINISH TO FINISH DIMENSIONS IN THE FIELD FOR PURPOSES OF FINISHED CABINETRY WORK, APPLIANCE CLEARANCE REQUIREMENTS AND INTERIOR MILLWORK.							
STRUCTURAL NOTE: SEE STRUCTURAL PLAN INFORMATION	SEE STRUCTURAL PLANS FOR ADDITIONAL STRUCTURAL CONSTRUCTION							
ALL COMPONENTS OF BUT NOT LIMITED TO F AND REQUIRED HEADR SECTION OF THE NEW CONTRACTOR IS RESP TREAD DIMENSIONS AN REQUIRED HEADROOM	INFORMATION <u>STAIR/PLATFORMS AND BALCONYS NOTE:</u> ALL COMPONENTS OF STAIRCASES, PLATFORMS, AND BALCONIES INCLUDING BUT NOT LIMITED TO RISERS, TREADS, HANDRAILS, GUARD RAILS, BALUSTERS AND REQUIRED HEADROOM CLEARANCES SHALL COMPLY WITH ALL PERTINENT SECTION OF THE NEW YORK STATE BUILDING CODE. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ACTUAL RISER AND TREAD DIMENSIONS AND NUMBER, INTERMEDIATE PLATFORM LEVELS, REQUIRED HEADROOM CLEARANCES, ETC., DUE TO ACTUAL FLOOR TO FLOOR HEIGHTS IF THEY DEVIATE FROM THESE DRAWINGS.							
	ISTALL 3" SOUND ATTENUATION BATT INSULATION IN F LAUNDRY ROOM, ALL BATHROOMS, ALL BEDROOMS							
SHELF MTD. + 64" A.F.F. I BEDROOM CLOSETS. PROVIDE AND INSTALL (4 IN LINEN CLOSETS.	DE AND INSTALL ONE CLOTHES ROD AND 12" DEEP WOOD N ALL CLOSETS EXCEPT LINEN CLOSETS AND MASTER 4) 12" DEEP WOOD SHELVES ON ADJUSTABLE STANDARDS SETS TO HAVE CUSTOM SHELVING/STORAGE SYSTEMS CTED BY OWNER)							
RESID	ENTIAL LEGEND							
SYMBOL	DESCRIPTION							
	NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION SEE PLANS FOR THICKNESS'							
	NEW 2 X 4 OR 2 X 6 STUD LOAD BEARING WALL ONE HOUR FIRE RATED PARTITION							
	EXISTING STUD LOAD BEARING WALL							
上	EXISTING WALL TO BE REMOVED							
	EXTERIOR DOOR DESIGNATION							
BO1	INTERIOR DOOR DESIGNATION							
	WINDOW NUMBER							
(SD)	SMOKE DETECTOR HARD WIRED WITH AUXILIARY BATTERY BACKUP							
(H)	HEAT DETECTOR HARDWIRED WITH AUXILIARY BATTERY BACKUP							
(m)	CARBON MONOXIDE DETECTOR HARD WIRED WITH AUXILIARY BATTERY BACKUP							
	RECESSED CEILING MTD. EXHAUST FAN DUCTED TO EXTERIOR - CONNECTED TO LIGHT SWITCH - SEE PLAN FOR CFM REQUIREMENTS							
EXIT	EXIT SIGN							

SPECIFICATIONS NOTE:

TRADES

SEE GENERAL NOTES SHEET GN FOR ADDITIONAL CONSTRUCTION

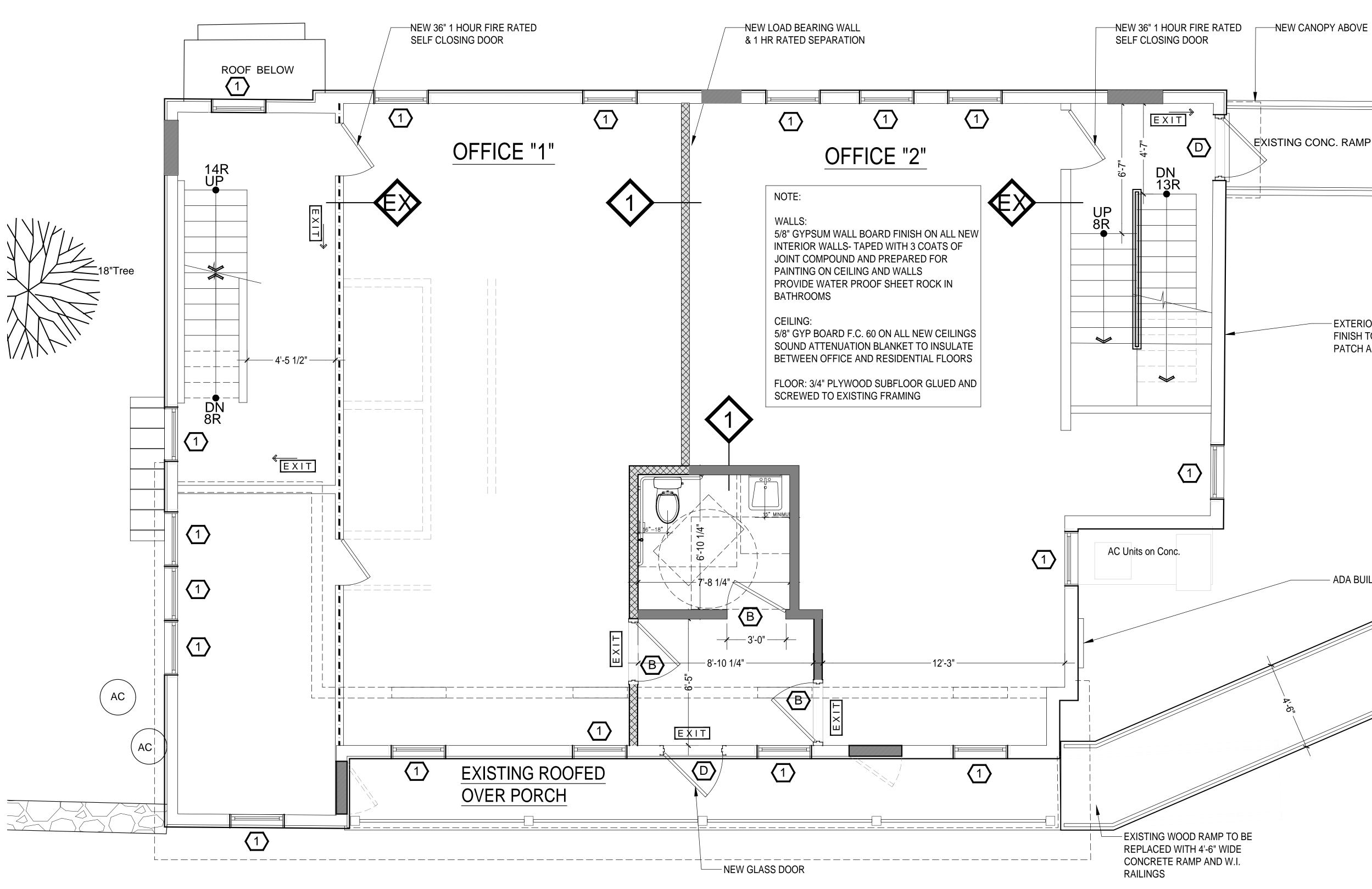
INFORMATION - THE CONTRACTOR AND ALL SUB CONTRACTORS ARE TO READ ALL CONSTRUCTION NOTES AND BE FAMILIAR WITH WORK OF OTHER

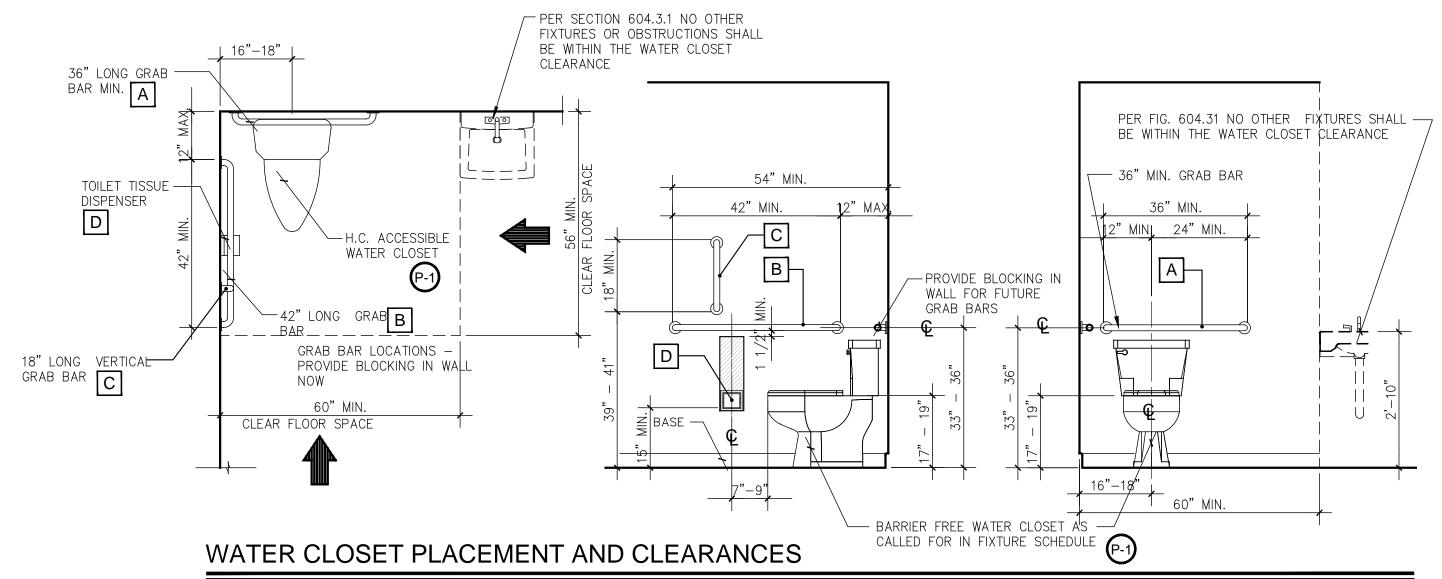


NEW CONC. RAMP ABOVE

Studio Architectura	<b>O rai</b> al Design P.C.
50 FIFTH AVE PELHAM, NY 914.273.6843 WWW.STUDIO	10803
ARCHITECTS	
HEATING AIR	CONDITIONING
STRUCTURAL	_ ENGINEERS
CONSULTANT	
PROPOSED 1201 OREGC CORTLAND,	ON ROAD
CORTLAND,	NY 10567
No. Revision	Date Description 8-16-23 -
-	
-	<u> </u>
-	
-	  
-	
-	
PROFESSIONAL SE PROPERTY OF STU WRITTEN AUTHOR DESIGN P.C. IS PRO SOLELY FOR THE O	PECIFICATIONS AS INSTRUMENTS OF ERVICE ARE AND SHALL REMAIN THE UDIO RAI, ARCHITECTS. WITHOUT THE RIZATION OF STUDIO RAI, ARCHITECTURAL OHIBITED. THIS DOCUMENT IS INTENDED CONSTRUCTION OF THE PROJECT NAMED
	L NOT BE USED BY ANY OTHER PARTIES FOR STRUCTION WITHOUT THE WRITTEN CONSEN RCHITECTS.
KEY PLAN	
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Á	<b>\-100</b>
DRAWING NUMBER	R
CISTERED UCID	ISSUE DATE : BD DRAWN BY : LDL DHECKED BY : LDL DHECKED BY : LDL
	SR-190701
ATE OF	019495 JOH NOTED
SEAL/SIGNATURE	





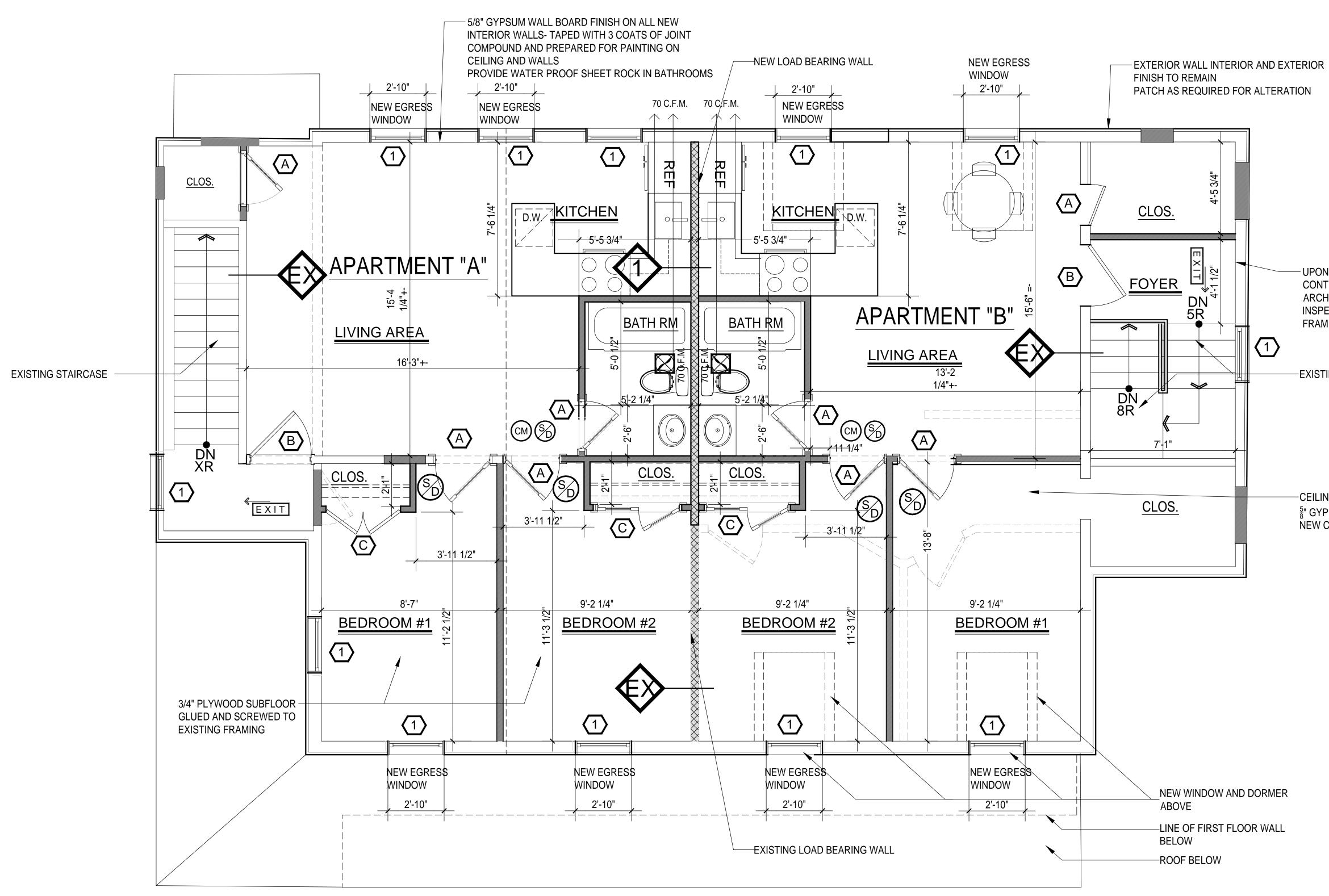


SCALE: 1/2"= 1'-0" (PER ICC/ANSI A117.1-2003 SECTION 604)

CONC. RAMP	INFORMATION - THE	<u>E:</u> 5 SHEET GN FOR ADDITIONAL CONSTRUCTION CONTRACTOR AND ALL SUB CONTRACTORS ARE TO CTION NOTES AND BE FAMILIAR WITH WORK OF OTHER
	IS RESPONSIBLE FOR	ICATED ARE ROUGH FRAMING DIMENSIONS – CONTRACTOR VERIFYING ALL FINISH TO FINISH DIMENSIONS IN THE S OF FINISHED CABINETRY WORK, APPLIANCE CLEARANCE INTERIOR MILLWORK.
	STRUCTURAL NOTE: SEE STRUCTURAL PLA INFORMATION	ANS FOR ADDITIONAL STRUCTURAL CONSTRUCTION
EXTERIOR WALL INTERIOR AND EXTERIOR FINISH TO REMAIN PATCH AS REQUIRED FOR ALTERATION	BUT NOT LIMITED TO AND REQUIRED HEADI SECTION OF THE NEW	STAIRCASES, PLATFORMS, AND BALCONIES INCLUDING RISERS, TREADS, HANDRAILS, GUARD RAILS, BALUSTERS ROOM CLEARANCES SHALL COMPLY WITH ALL PERTINENT V YORK STATE BUILDING CODE.
	TREAD DIMENSIONS A REQUIRED HEADROOM	PONSIBLE FOR COORDINATION OF ACTUAL RISER AND ND NUMBER, INTERMEDIATE PLATFORM LEVELS, I CLEARANCES, ETC., DUE TO ACTUAL FLOOR TO FLOOR /IATE FROM THESE DRAWINGS.
		NSTALL 3" SOUND ATTENUATION BATT INSULATION IN OF LAUNDRY ROOM, ALL BATHROOMS, ALL BEDROOMS
ADA BUILDING ENTRY SIGN	SHELF MTD. + 64" A.F.F. BEDROOM CLOSETS.	/IDE AND INSTALL ONE CLOTHES ROD AND 12" DEEP WOOD IN ALL CLOSETS EXCEPT LINEN CLOSETS AND MASTER
	IN LINEN CLOSETS.	(4) 12" DEEP WOOD SHELVES ON ADJUSTABLE STANDARDS DSETS TO HAVE CUSTOM SHELVING/STORAGE SYSTEMS ECTED BY OWNER)
	IN LINEN CLOSETS. MASTER BEDROOM CLO INSTALLED (TO BE SELE	DSETS TO HAVE CUSTOM SHELVING/STORAGE SYSTEMS
	IN LINEN CLOSETS. MASTER BEDROOM CLO INSTALLED (TO BE SELE	DSETS TO HAVE CUSTOM SHELVING/STORAGE SYSTEMS ECTED BY OWNER)
	IN LINEN CLOSETS. MASTER BEDROOM CLO INSTALLED (TO BE SELE RESID	DSETS TO HAVE CUSTOM SHELVING/STORAGE SYSTEMS ECTED BY OWNER)
	IN LINEN CLOSETS. MASTER BEDROOM CLO INSTALLED (TO BE SELE RESID	DESCRIPTION NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION
	IN LINEN CLOSETS. MASTER BEDROOM CLO INSTALLED (TO BE SELE RESID	DESCRIPTION NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION SEE PLANS FOR THICKNESS' NEW 2 X 4 OR 2 X 6 STUD LOAD BEARING WALL
	IN LINEN CLOSETS. MASTER BEDROOM CLO INSTALLED (TO BE SELE RESID	DESCRIPTION NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION SEE PLANS FOR THICKNESS' NEW 2 X 4 OR 2 X 6 STUD LOAD BEARING WALL ONE HOUR FIRE RATED PARTITION
	IN LINEN CLOSETS. MASTER BEDROOM CLO INSTALLED (TO BE SELE RESID	DESCRIPTION NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION SEE PLANS FOR THICKNESS' NEW 2 X 4 OR 2 X 6 STUD LOAD BEARING WALL ONE HOUR FIRE RATED PARTITION EXISTING STUD LOAD BEARING WALL
	IN LINEN CLOSETS. MASTER BEDROOM CLO INSTALLED (TO BE SELE SYMBOL SYMBOL	DESCRIPTION NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION SEE PLANS FOR THICKNESS' NEW 2 X 4 OR 2 X 6 STUD LOAD BEARING WALL ONE HOUR FIRE RATED PARTITION EXISTING STUD LOAD BEARING WALL EXISTING WALL TO BE REMOVED
	IN LINEN CLOSETS. MASTER BEDROOM CLO INSTALLED (TO BE SELE SYMBOL SYMBOL	DESCRIPTION DESCRIPTION NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION SEE PLANS FOR THICKNESS' NEW 2 X 4 OR 2 X 6 STUD LOAD BEARING WALL ONE HOUR FIRE RATED PARTITION EXISTING STUD LOAD BEARING WALL EXISTING WALL TO BE REMOVED EXTERIOR DOOR DESIGNATION INTERIOR DOOR DESIGNATION WINDOW NUMBER
	IN LINEN CLOSETS. MASTER BEDROOM CLO INSTALLED (TO BE SELE SYMBOL SYMBOL	DESCRIPTION NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION SEE PLANS FOR THICKNESS' NEW 2 X 4 OR 2 X 6 STUD LOAD BEARING WALL ONE HOUR FIRE RATED PARTITION EXISTING STUD LOAD BEARING WALL EXISTING WALL TO BE REMOVED EXTERIOR DOOR DESIGNATION INTERIOR DOOR DESIGNATION
	IN LINEN CLOSETS. MASTER BEDROOM CLO INSTALLED (TO BE SELE SYMBOL SYMBOL	DESCRIPTION DESCRIPTION DESCRIPTION NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION SEE PLANS FOR THICKNESS' NEW 2 X 4 OR 2 X 6 STUD LOAD BEARING WALL ONE HOUR FIRE RATED PARTITION EXISTING STUD LOAD BEARING WALL EXISTING WALL TO BE REMOVED EXTERIOR DOOR DESIGNATION INTERIOR DOOR DESIGNATION WINDOW NUMBER SMOKE DETECTOR
	IN LINEN CLOSETS. MASTER BEDROOM CLO INSTALLED (TO BE SELE SYMBOL SYMBOL	DESTS TO HAVE CUSTOM SHELVING/STORAGE SYSTEMS EXTED BY OWNER) <b>E N T I A L LEGEND</b> DESCRIPTION NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION SEE PLANS FOR THICKNESS' NEW 2 X 4 OR 2 X 6 STUD LOAD BEARING WALL ONE HOUR FIRE RATED PARTITION EXISTING STUD LOAD BEARING WALL EXISTING WALL TO BE REMOVED EXTERIOR DOOR DESIGNATION INTERIOR DOOR DESIGNATION WINDOW NUMBER SMOKE DETECTOR HARD WIRED WITH AUXILIARY BATTERY BACKUP HEAT DETECTOR HARD WIRED WITH AUXILIARY BATTERY BACKUP
	IN LINEN CLOSETS. MASTER BEDROOM CLO INSTALLED (TO BE SELE SYMBOL SYMBOL	DESTS TO HAVE CUSTOM SHELVING/STORAGE SYSTEMS ECTED BY OWNER) <b>E N T I A L LEGEND</b> DESCRIPTION NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION SEE PLANS FOR THICKNESS' NEW 2 X 4 OR 2 X 6 STUD LOAD BEARING WALL ONE HOUR FIRE RATED PARTITION EXISTING STUD LOAD BEARING WALL EXISTING STUD LOAD BEARING WALL EXISTING WALL TO BE REMOVED EXTERIOR DOOR DESIGNATION INTERIOR DOOR DESIGNATION WINDOW NUMBER SMOKE DETECTOR HARD WIRED WITH AUXILIARY BATTERY BACKUP HEAT DETECTOR HARDWIRED WITH AUXILIARY BATTERY BACKUP CARBON MONOXIDE DETECTOR

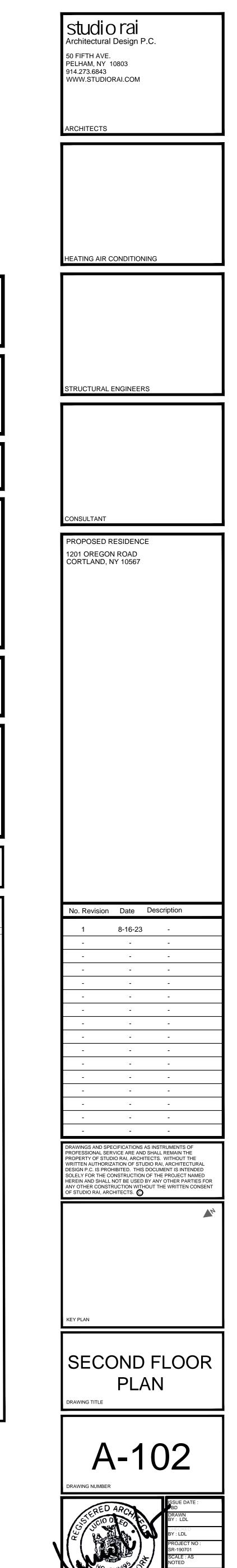
Studio Architectural		).
50 FIFTH AVE. PELHAM, NY 914.273.6843 WWW.STUDIC	10803	
ARCHITECTS		
HEATING AIR (	CONDITIONIN	G
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CONSULTANT		
PROPOSED F 1201 OREGO CORTLAND,	N ROAD	
No. Revision	Date D	escription
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DESIGN P.C. IS PRO	RVICE ARE AND SH DIO RAI, ARCHITEC ZATION OF STUDIC DHIBITED. THIS DO	IALL REMAIN THE CTS. WITHOUT THE ORAI, ARCHITECTURAL CUMENT IS INTENDED
HEREIN AND SHALL	NOT BE USED BY	THE PROJECT NAMED ANY OTHER PARTIES FOR T THE WRITTEN CONSENT
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KEY PLAN		
   FIR	ST F	LOOR
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DRAWING NUMBER	<b>–</b> –	
COSTERED Jucio	ARCH	ISSUE DATE : BD DRAWN BY : LDL
		CHECKED BY : LDL PROJECT NO : SR-190701
SEAL/SIGNATURE	019499 10 NEW	SCALE : AS NOTED

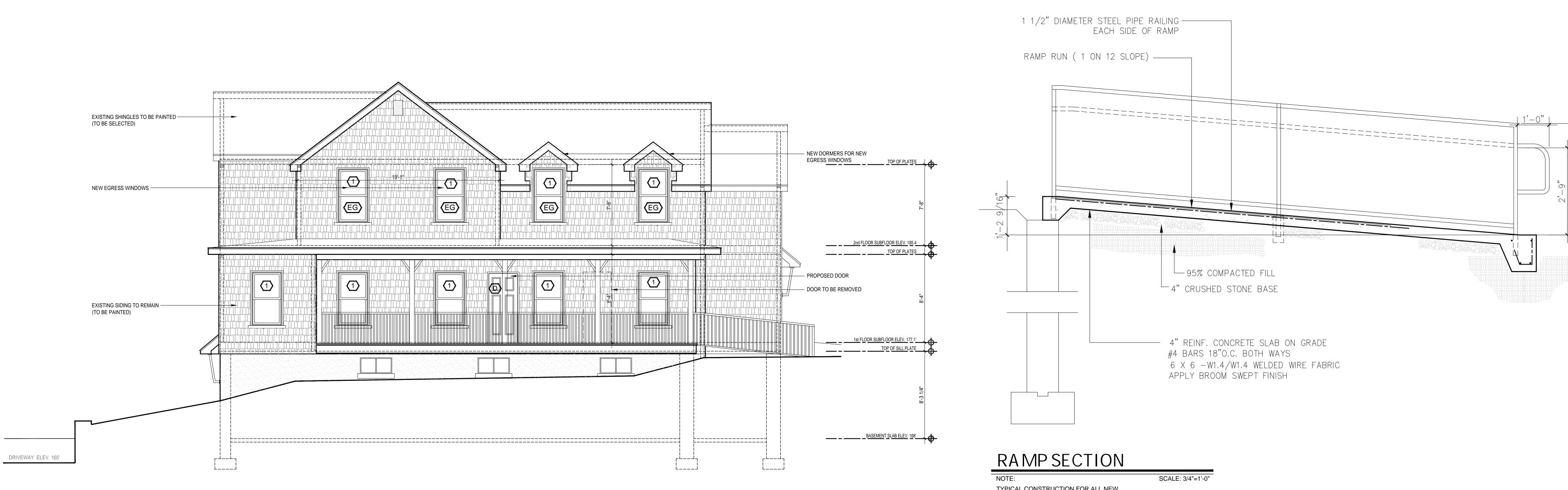




LIGHT & VENT	TILATIO	ON SCHE	EDULE	(PER SECTIO	NS 303 OF R.C.C	).N.Y.S.)
ROOM	SQ. FT.	4% VENT REQUIRED	ILATION PROVIDED	8% LI REQUIRED	GHT PROVIDED	WINDOW #
APT A: BEDROOM #1	105.6 SQ. FT.	4.2 SQ. FT.	6.3 SQ. FT.	8.4 SQ. FT.	10.3 SQ. FT.	
APT A: BEDROOM #2	113.1 SQ. FT.	4.5 SQ. FT.	6.3 SQ. FT.	9.1 SQ. FT.	10.3 SQ. FT.	
APT A: LIVING ROOM	290.1 SQ. FT.	11.6 SQ. FT.	18.9 SQ. FT.	23.2 SQ. FT.	30.9 SQ. FT.	
APT B: BEDROOM #1	125.5 SQ. FT.	5 SQ. FT.	6.3 SQ. FT.	10 SQ. FT.	10.3 SQ. FT.	
APT B: BEDROOM #2	113.1 SQ. FT.	4.5 SQ. FT.	6.3 SQ. FT.	9.1 SQ. FT.	10.3 SQ. FT.	
APT B: LIVING ROOM	243.9 SQ. FT.	9.8 SQ. FT.	12.6 SQ. FT.	19.5 SQ. FT.	20.6 SQ. FT.	

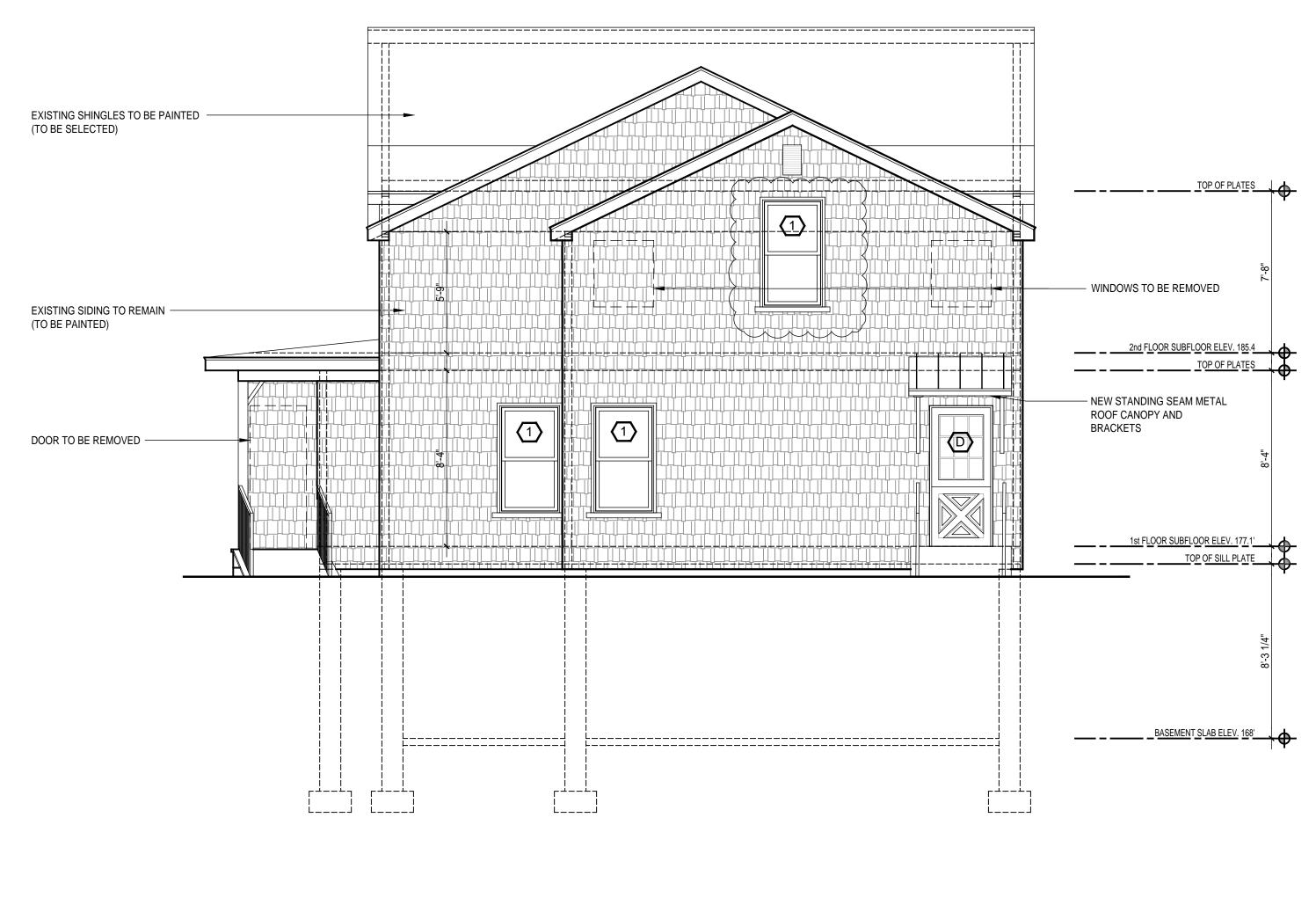
		INFORMATION - THE	: <u>:</u> SHEET GN FOR ADDITIONAL CONSTRUCTION CONTRACTOR AND ALL SUB CONTRACTORS ARE TO TION NOTES AND BE FAMILIAR WITH WORK OF OTHER
		IS RESPONSIBLE FOR	CATED ARE ROUGH FRAMING DIMENSIONS – CONTRACTOR VERIFYING ALL FINISH TO FINISH DIMENSIONS IN THE OF FINISHED CABINETRY WORK, APPLIANCE CLEARANCE NTERIOR MILLWORK.
	INSPECTION OF EXISTING FRAMING	STRUCTURAL NOTE: SEE STRUCTURAL PLA INFORMATION	NS FOR ADDITIONAL STRUCTURAL CONSTRUCTION
	-EXISTING STAIRCASE	BUT NOT LIMITED TO AND REQUIRED HEADF	D BALCONYS NOTE: STAIRCASES, PLATFORMS, AND BALCONIES INCLUDING RISERS, TREADS, HANDRAILS, GUARD RAILS, BALUSTERS ROOM CLEARANCES SHALL COMPLY WITH ALL PERTINENT YORK STATE BUILDING CODE.
	CEILING FINISH <sup>5</sup> 8" GYP BOARD F.C. 60 ON ALL NEW CEILINGS	TREAD DIMENSIONS AN REQUIRED HEADROOM	ONSIBLE FOR COORDINATION OF ACTUAL RISER AND ND NUMBER, INTERMEDIATE PLATFORM LEVELS, CLEARANCES, ETC., DUE TO ACTUAL FLOOR TO FLOOR IATE FROM THESE DRAWINGS.
			NSTALL 3" SOUND ATTENUATION BATT INSULATION IN OF LAUNDRY ROOM, ALL BATHROOMS, ALL BEDROOMS
		SHELF MTD. + 64" A.F.F. BEDROOM CLOSETS. PROVIDE AND INSTALL ( IN LINEN CLOSETS.	IDE AND INSTALL ONE CLOTHES ROD AND 12" DEEP WOOD IN ALL CLOSETS EXCEPT LINEN CLOSETS AND MASTER 4) 12" DEEP WOOD SHELVES ON ADJUSTABLE STANDARDS SETS TO HAVE CUSTOM SHELVING/STORAGE SYSTEMS CTED BY OWNER)
		RESID	ENTIAL LEGEND
DORMER		SYMBOL	DESCRIPTION
R WALL			NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION SEE PLANS FOR THICKNESS'
			NEW 2 X 4 OR 2 X 6 STUD LOAD BEARING WALL ONE HOUR FIRE RATED PARTITION
			EXISTING STUD LOAD BEARING WALL
		 F	EXISTING WALL TO BE REMOVED
			EXISTING WALL TO BE REMOVED EXTERIOR DOOR DESIGNATION
			EXTERIOR DOOR DESIGNATION
		F	EXTERIOR DOOR DESIGNATION INTERIOR DOOR DESIGNATION WINDOW NUMBER
			EXTERIOR DOOR DESIGNATION INTERIOR DOOR DESIGNATION WINDOW NUMBER SMOKE DETECTOR HARD WIRED WITH AUXILIARY BATTERY BACKUP
			EXTERIOR DOOR DESIGNATION INTERIOR DOOR DESIGNATION WINDOW NUMBER SMOKE DETECTOR
			EXTERIOR DOOR DESIGNATION INTERIOR DOOR DESIGNATION WINDOW NUMBER SMOKE DETECTOR HARD WIRED WITH AUXILIARY BATTERY BACKUP HEAT DETECTOR HARDWIRED WITH AUXILIARY BATTERY BACKUP CARBON MONOXIDE DETECTOR HARD WIRED WITH AUXILIARY BATTERY BACKUP
			EXTERIOR DOOR DESIGNATION INTERIOR DOOR DESIGNATION WINDOW NUMBER SMOKE DETECTOR HARD WIRED WITH AUXILIARY BATTERY BACKUP HEAT DETECTOR HARDWIRED WITH AUXILIARY BATTERY BACKUP CARBON MONOXIDE DETECTOR





# FRONT ELEVATION

SCALE: 1/4"= 1'-0'

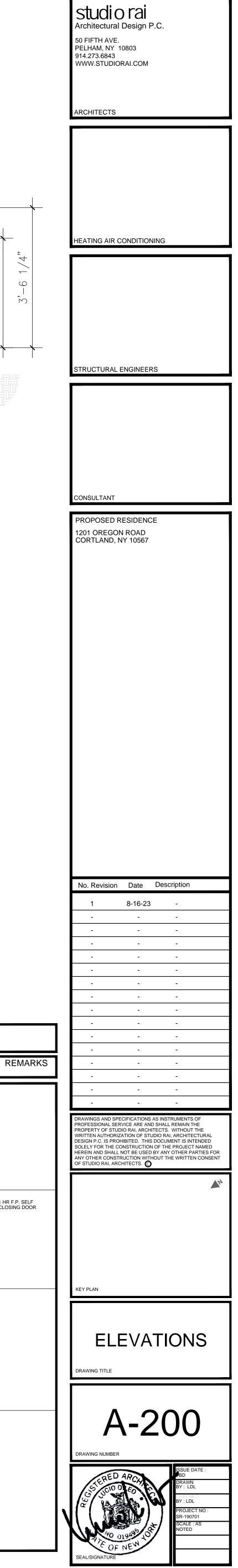


# **RIGHT SIDE ELEVATION**

SCALE: 1/4"= 1'-0"

WINDOW SCHE	DULE					EX	TERIOR DOOR SCH	HEDU	LE			
WINDOW KEY	WINDOW TYPE	MANUF.	CATALOGUE NUMBER	WINDOW OPENING	REMARKS	DOOF KEY		DOOR TYPE	MANUF.	CATALOGUE NUMBER	WINDOW OPENING	RE
	DOUBLE HUNG	ANDERSEN OR EQUAL		2'-10" X 5'-1"	INSULATED GLASS LOW 'E'							
						B	3.0.					1 HR F CLOSII
						C						

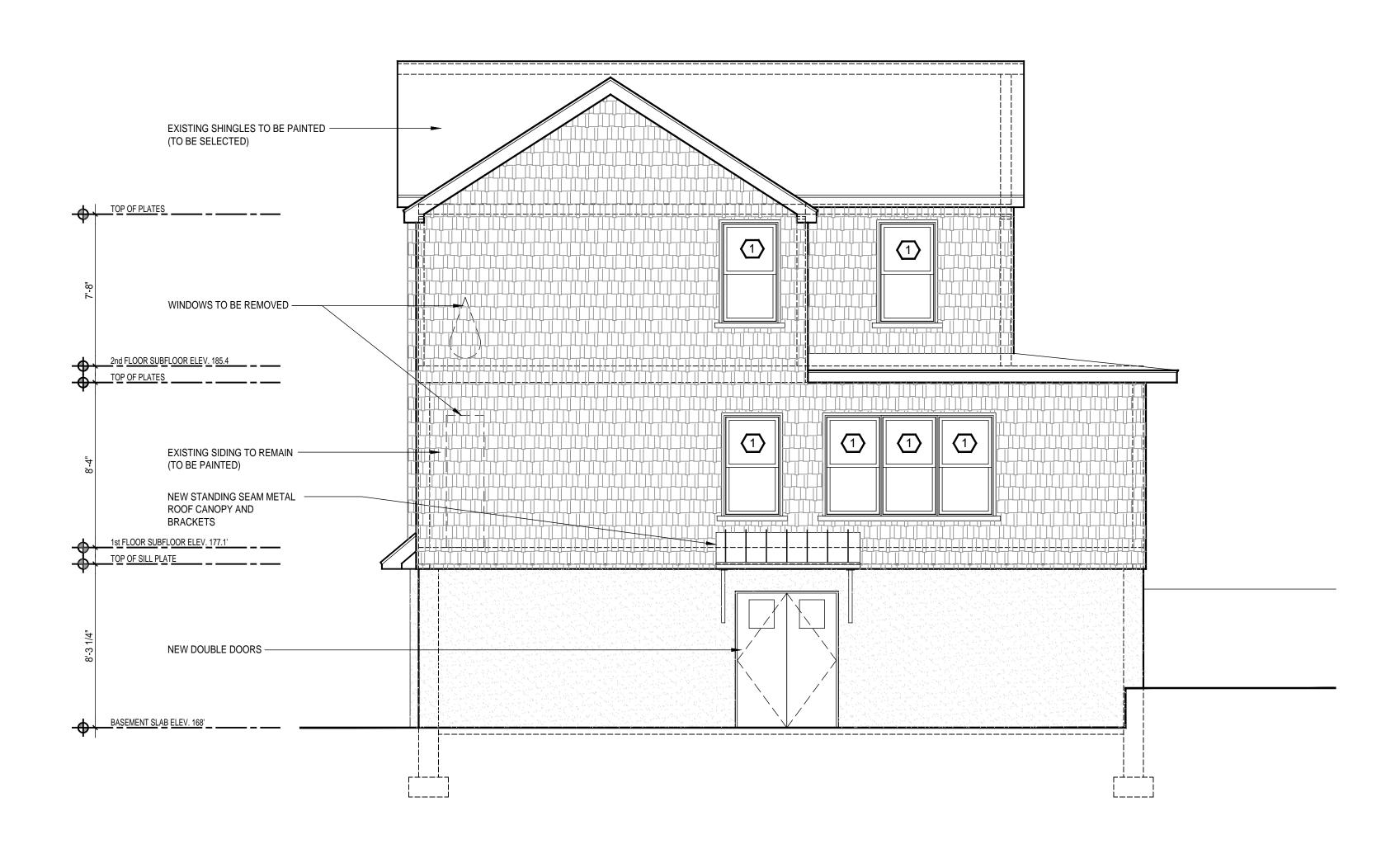
TYPICAL CONSTRUCTION FOR ALL NEW RAMPS, 1-12 SLOPE MAX.



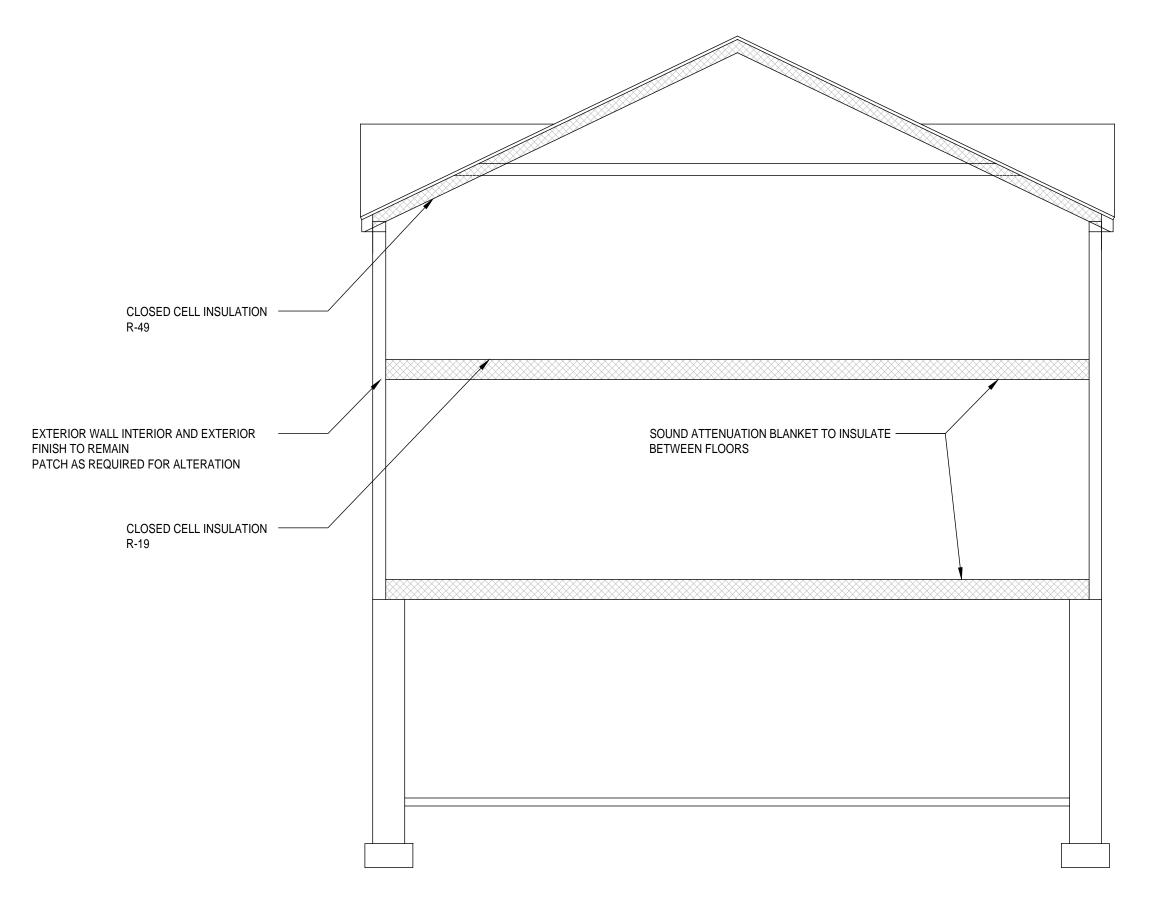


# REAR ELEVATION

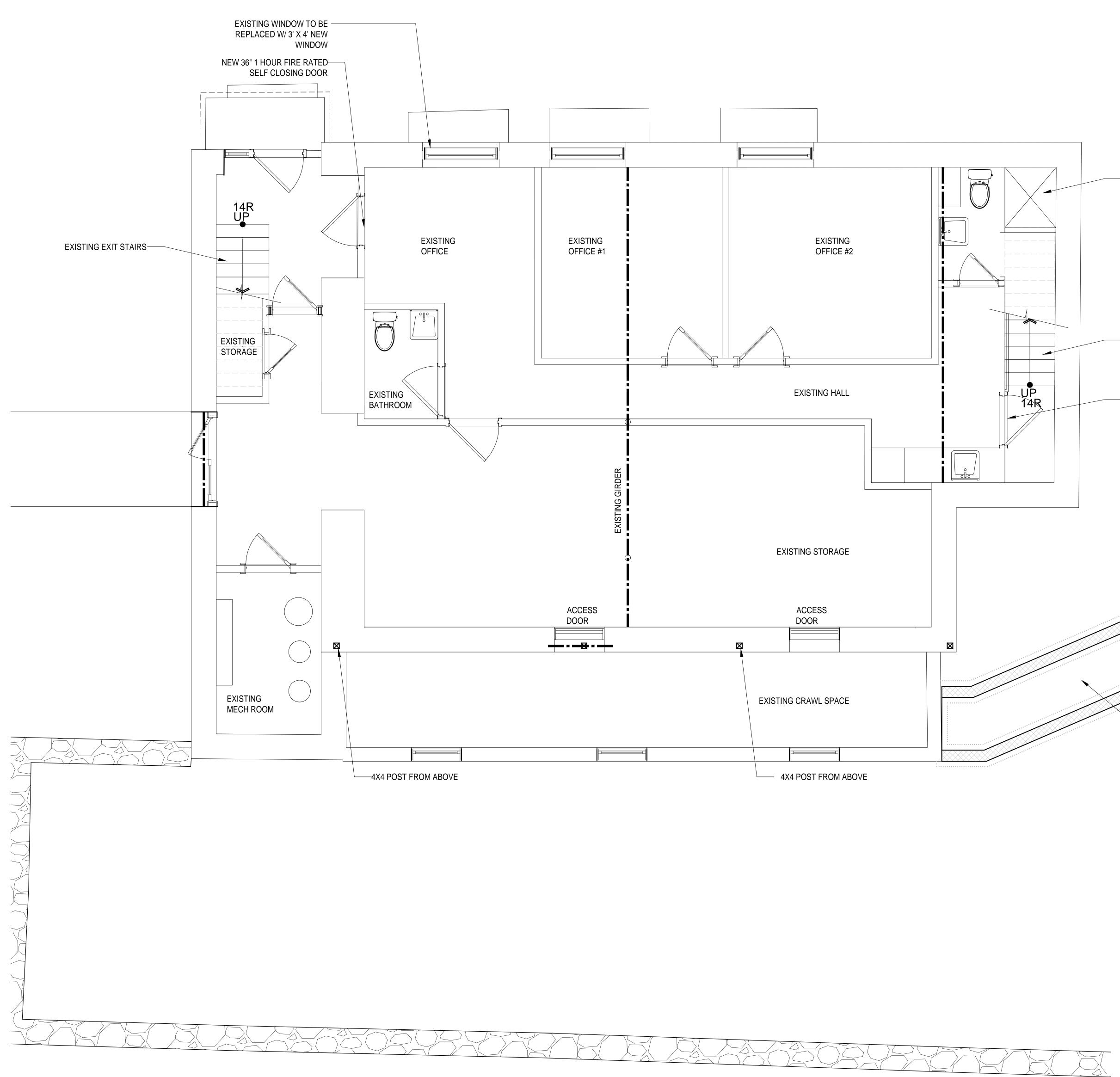
SCALE: 1/4"= 1'-0"



# LEFT SIDE ELEVATION



Architectural	) rai Design P.C	:.
50 FIFTH AVE. PELHAM, NY 1 914.273.6843 WWW.STUDIO		
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# FIRST FLOOR FRAMING PLAN

## -EXISTING BATHROOM TO REMAIN

# EXISTING EXIT STAIRS

SELF CLOSING DOOR

# -NEW CONCRETE RAMP ABOVE

# LVL NOTE :

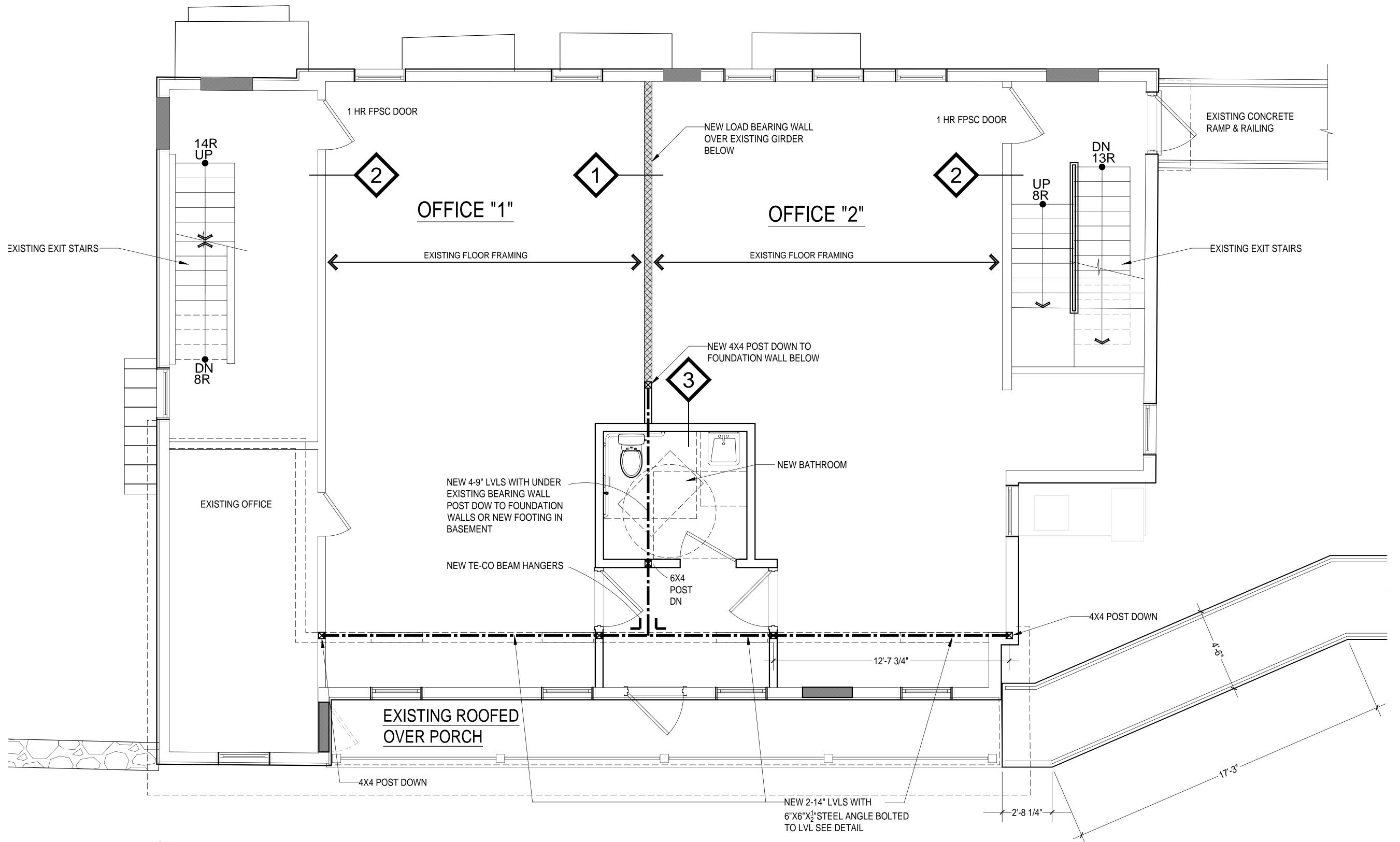
- 1. ALL DESIGNATED LVL'S SHALL BE 1.9E "MICROLLAM" BY "TRUSJOIST MACMILLAN" WITH A FLEXURAL FIBER STRESS OF Fb = 2,600 P.S.I. - OR AN APPROVED EQUAL.
- 2. CONTRACTOR TO FOLLOW ALL RECCOMENDATIONS OF LVL MANUFACTURER IN REGARDS TO INSTALLATION, NOTCHING, DRILLING HOLES, BEARING, FASTENING OF MULTIPLE MEMEBERS (NAILING OR BOLTING) AND ALL OTHER PERTINENT INFORMATION FOR PROPER INSTALLÁTION.
- 3. NOTCHING AND DRILLING HOLES IN LVL'S SHOULD BE AVOIDED, HOWEVER IF REQUIRED DUE TO FEILD CONDITIONS, NOTCHING AND DRILLING HOLES SHALL BE LIMITED TO THE RECOMMENDATIONS OF THE LVL MANUFACTURER. THE G.C. IS TO COORDINATE FRAMING WITH MECHANICAL PLUMBING AND ELECTRICAL TRADES . THE G.C. IS TO BE RESPONCIBLE FOR ALL MODIFICATIONS TO LVL'S.
- 4. FASTEN MULTIPLE LVL MEMEBERS PER LVL MANUFACTURER'S RECOMMENDATIONS. (2) AND (3) MEMBER LVL BEAMS MAY BE NAILED OF BOLTED. (4) OR MORE MEMBER BEAMS ARE TO BE BOLTED.

# HEADER AND LINTEL NOTES :

- 1. ALL WOOD HEADERS AT WINDOWS AND EXTERIOR DOORS TO BEAR ON (2) 2 X 4 OR (2) 2 X 6 JACK STUDS AT EACH END.
- 2. ALL STEEL ANGLES AT MASONRY VENEER IS TO BEAR A MINIMUM OF 4" ONTO MASONRY, OR AS INDICATED ON THE DRAWINGS.
- 3. FLUSH FRAMED BEAMS ARE TO BEAR ONTO CORNER POSTS, SOLID OR BUILT - UP POSTS AS INDICATED ON THE DRAWINGS.
- 4. WHERE (3) 2 X HEADERS ARE INDICATED, INSTALL (2) 1/2" PLYWOOD SPACERS BETWEEN EACH MEMBER.

FIRST FLR	LOADING SCHEDULE
LIVE LOAD DEAD LOAD TILE & MUD	: 40 P.S.F. : 15 P.S.F. : 20 P.S.F. : <b>75 P.S.F.</b>
	. / 0 / .0.1 .
FIRST FLR	LOADING SCHEDULE
LIVE LOAD DEAD LOAD	: 40 P.S.F. : 15 P.S.F.
TOTAL LOAD	: 55 P.S.F.
FRAMING F	PLAN LEGEND
	<ul> <li>INDICATES FLOOR, CEILING, OR ROOF FRAMING DIRECTION AND SPACING.</li> <li>INDICATES STEEL BEAM OR LVL BEAM OR GIRDER (AS NOTED).</li> <li>BEARING PLATE LOCATION - SEE NOTES ON PLAN FOR SIZE AND BOLTING INFO.</li> <li>BUILT-UP SOLID WOOD POST - SEE NOTES ON PLANS FOR SIZE.</li> <li>BUILT-UP SOLID WOOD POST FROM ABOVE - SEE PLANS FOR SIZE.</li> <li>STEEL COLUMN - DIAMETER AS INDICATED ON PLANS.</li> <li>LOAD BEARING INTERIOR PARTITION</li> </ul>

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NOTE: CONTACT ARCHITECT FOR VISUAL INSPECTIONS OF EXISTING FRAMING UP ON GYP. BRD REMOVAL FOR FINAL FRAMING DETERMINATION

# LVL NOTE :

- 1. ALL DESIGNATED LVL'S SHALL BE 1.9E "MICROLLAM" BY "TRUSJOIST MACMILLAN" WITH A FLEXURAL FIBER STRESS OF Fb = 2,600 P.S.I. - OR AN APPROVED EQUAL.
- 2. CONTRACTOR TO FOLLOW ALL RECCOMENDATIONS OF LVL MANUFACTURER IN REGARDS TO INSTALLATION, NOTCHING, DRILLING HOLES, BEARING, FASTENING OF MULTIPLE MEMEBERS (NAILING OR BOLTING) AND ALL OTHER PERTINENT INFORMATION FOR PROPER INSTALLÁTION.
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- 4. WHERE (3) 2 X HEADERS ARE INDICATED, INSTALL (2) 1/2" PLYWOOD SPACERS BETWEEN EACH MEMBER.

# SECOND FLR. LOADING SCHEDULE

LIVE LOAD DEAD LOAD

## : 30 P.S.F. : 15 P.S.F.

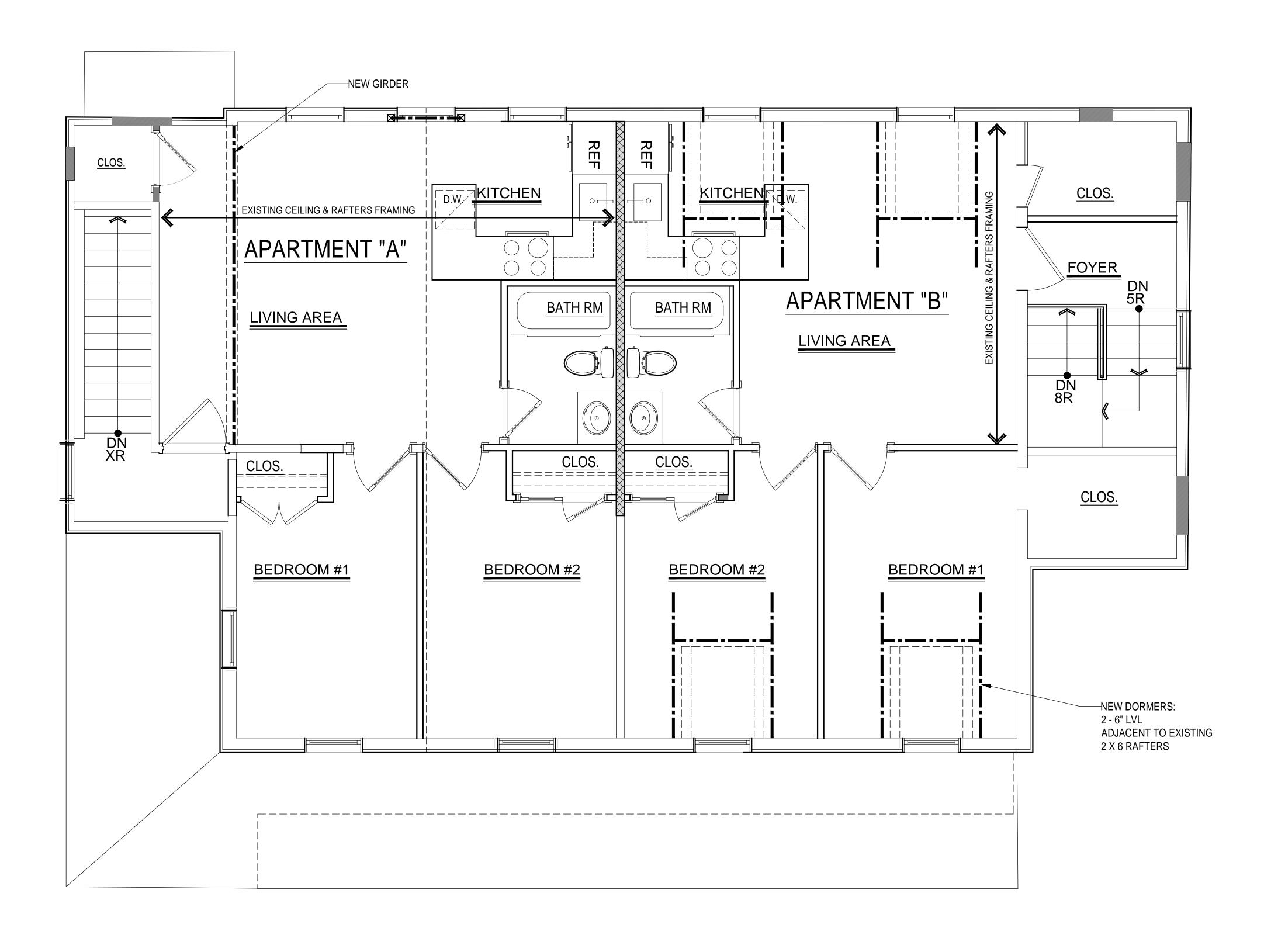
TOTAL LOAD : 45 P.S.F.

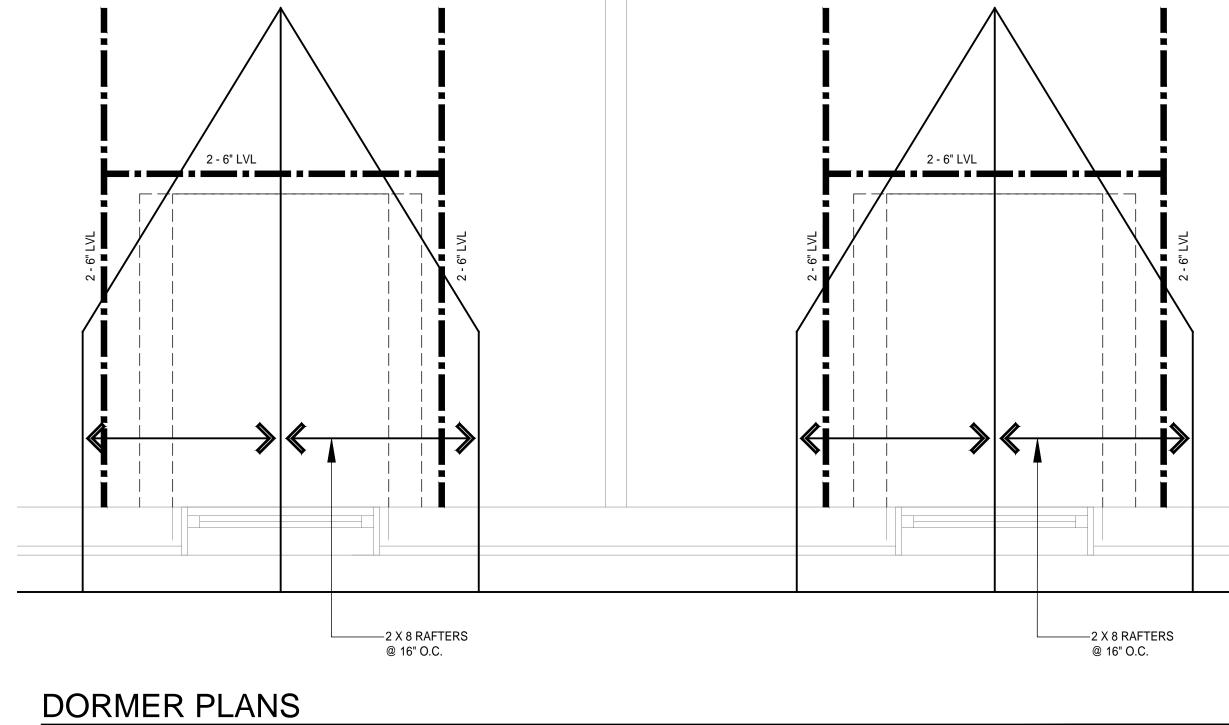
# FRAMING PLAN LEGEND

- INDICATES FLOOR, CEILING, OR ROOF FRAMING DIRECTION AND SPACING. **⟨**−−−−→ INDICATES STEEL BEAM OR LVL BEAM OR GIRDER (AS NOTED). \_\_\_\_\_ BEARING PLATE LOCATION - SEE NOTES ON PLAN FOR SIZE AND BOLTING INFO. BUILT-UP SOLID WOOD POST - SEE NOTES ON PLANS FOR SIZE.  $\boxtimes$ 
  - BUILT-UP SOLID WOOD POST FROM ABOVE SEE PLANS FOR SIZE. STEEL COLUMN - DIAMETER AS INDICATED ON PLANS. 0
  - LOAD BEARING INTERIOR PARTITION

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# CEILING LOADING SCHEDULE

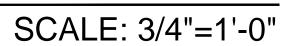
: 10 P.S.F. : 10 P.S.F.

LIVE LOAD DEAD LOAD

TOTAL LOAD : 20 P.S.F.

# FRAMING PLAN LEGEND

<>	INDICATES FLOOR, CEILING, OR ROOF FRAMING DIRECTION AND SPACING.
	INDICATES STEEL BEAM OR LVL BEAM OR GIRDER (AS NOTED).
	BEARING PLATE LOCATION - SEE NOTES ON PLAN FOR SIZE AND BOLTING INFO.
$\boxtimes$	BUILT-UP SOLID WOOD POST - SEE NOTES ON PLANS FOR SIZE.
	BUILT-UP SOLID WOOD POST FROM ABOVE - SEE PLANS FOR SIZE.
0	STEEL COLUMN - DIAMETER AS INDICATED ON PLANS.
	LOAD BEARING INTERIOR PARTITION



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