

# SITE DATA:

OWNER / DEVELOPER:

PROJECT LOCATION:

**EXISTING TOWN ZONING:** PROPOSED USE: TOWN TAX MAP DATA: SITE AREA : SEWAGE FACILITIES: WATER FACILITIES:

20 PARK ROAD BRIARCLIFF MANOR, NY, 10510 3451 LEXINGTON AVE CORTLANDT, NEW YORK, 10547 HC, HIGHWAY COMMERCIAL AUTO STORAGE SECTION 13.19, BLOCK 2, LOT 2 16.55 ACRES (720,911 SF) ONSITE SSTS PUBLIC WATER FACILITIES

JACK AHEARN

ZONING DISTRICT:	HC - Hig	hway Commercial	
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA: MINIMUM LOT WIDTH:	20,000 SF. 100 FT.	720,911 SF. 407.4 FT.	NONE NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING: FRONT YARD SETBACK: REAR YARD SETBACK: SIDE YARD SETBACK: ACCESSORY BUILDINGS: FRONT YARD SETBACK:	30 FT. 30 FT. 30 FT. 30 FT.	37.5 FT. 706.6 FT. 48.2 FT. 267.9	NONE NONE NONE
REAR YARD SETBACK: SIDE YARD SETBACK:	30 FT. 30 FT.	644.9 FT. 62.2 FT.	NONE NONE
SIDE TARD SETDACK.	00111	02.2 FT.	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:			
PRINCIPAL BUILDING COVERAGE:	20% OF LOT AREA 144,182.20 SF	4.9 % OF LOT AREA 34,880 SF	NONE NONE
MAXIMUM HEIGHT:			
PRINCIPAL BUILDING - FEET: PRINCIPAL BUILDING - STORIES: ACCESSORY BUILDING - FEET: ACCESSORY BUILDING - STORIES:	35 FEET 2 1/2	34.51 FEET 2 1/2	NONE NONE NONE NONE

# PARKING SCHEDULE

TORAGE BUILDING:	1 SPACES PER 1000 SF OF BUILDING @56,000 = 56 SPACES
SSORY STORAGE/ REPAIR BUILDING:	1 SPACES PER 1000 SF OF BUILDING @ 1880 = 2 SPACES 1 SPACES PER 150 SF OF BUILDING @ 1880 = 13 SPACES
ROOM BUILDING:	1 PER 400 SF OF HABITABLE GROUND FLOOR SPACE @ 9,760 = 24 SPACES
. REQUIRED PARKING:	95 SPACES
. PROVIDED PARKING:	82 STANDARD <u>6 HANDICAP</u>
. PROVIDED PARKING:	88 SPACES
NG VARIANCE REQUIRED:	0 SPACES

THE SITE IS LOCATED IN A FEMA ZONE X DESIGNATED AS BEING OUTSIDE OF 0.2% CHANCE FLOOD

# TOWN NOTES:

- 1. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, ALL TOWN AND NYSDEC WETLANDS SHALL BE RE-FLAGGED AND SURVEYED. THE WETLAND BOUNDARIES SHALL BE INCLUDED IN THE STAKE OUT LIMIT SKETCH.
- 2. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL OBTAIN COVERAGE UNDER THE NYSDEC SPDES GENERAL PERMIT FOR CONSTRUCTION ACTIVITY.
- 3. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AN OWNER OR OPERATOR SHALL HAVE EACH CONTRACTOR AND SUBCONTRACTOR, THAT HAS BEEN IDENTIFIED AS BEING RESPONSIBLE FOR
- IMPLEMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), IDENTIFY AT LEAST ONE EMPLOYEE FROM THEIR COMPANY (TRAINED CONTRACTOR) THAT HAS RECEIVED 4 HOURS OF ENDORSED E&SC TRAINING. THE TRAINED CONTRACTOR MUST BE ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED AND WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE PRACTICES INCLUDED IN THE SWPPP.
- 4. AN OWNER OR OPERATOR OF A REGULATED CONSTRUCTION PROJECT, WITH SOME EXCEPTIONS, SHALL HAVE A QUALIFIED INSPECTOR CONDUCT SPECIFIC SITE INSPECTIONS. CERTAIN QUALIFIED INSPECTORS WHO WORK ON THESE SITES (I.E., INDIVIDUALS WORKING UNDER DIRECT SUPERVISION OF, AND AT THE SAME COMPANY AS, A LICENSED PROFESSIONAL ENGINEER OR REGISTERED LANDSCAPE ARCHITECT OF NYS) ARE REQUIRED TO COMPLETE 4 HOURS OF E&SC TRAINING UNDER THE GENERAL PERMIT.
- 5. A ROAD OPENING PERMIT FILED WITH THE TOWN'S DEPARTMENT OF ENVIRONMENTAL SERVICES IS REQUIRED FOR ANY WORK WITHIN THE TOWN RIGHT-OF-WAY. CONTACT DES AT 914-737-0100.
- 6. A WATER AND SEWER SERVICE PERMITS SHALL BE FILED WITH THE TOWN'S DEPARTMENT OF ENVIRONMENTAL SERVICES AS SHOWN ON THE APPROVED PLANS PRIOR TO THE RELEASE OF ANY BUILDING PERMIT. 7. NO RECYCLED MATERIAL SHALL BE BROUGHT TO THE SITE WITHOUT PRIOR TOWN OF CORTLANDT WRITTEN ACKNOWLEDGEMENT. ALL RECYCLED MATERIAL MUST BE COMPLIANT WITH THE NYSDEC'S BENEFICIAL USE DETERMINATION AND BE UNCONTAMINATED.
- 8. FILL MATERIAL PROPOSED TO BE IMPORTED AS PART OF THIS PROJECT SHALL MEET THE MATERIALS TESTING PROTOCOLS OF THE TOWN OF CORTLANDT AND NYSDEC AS MEET THE CRITERIA OF UNRESTRICTED FILL. 9. CONCRETE AND OTHER WASTE MATERIAL SHALL NOT BE LEFT ON SITE. ALL MATERIALS SHALL BE DISPOSED OF IN A LAWFUL MANNER.
- 10. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE APPLICANT'S ENGINEER SHALL SUBMIT HYDROLOGIC AND HYDRAULIC CALCULATIONS AND SHALL CERTIFY THAT ALL STORM WATER INFRASTRUCTURE IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT NO IMPACT TO ADJACENT OR ADJOINING LANDOWNERS OCCURRED.
- 11. THE APPLICANT IS AWARE THAT THE ENTIRE SITE MUST BE 100% STABILIZED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLIANCE. DISTURBED AREAS SHALL BE RESTORED AND STABILIZED APPROPRIATELY IN A TIMELY MANNER. A NOTICE OF TERMINATION SHALL BE FILED WITH THE NYSDEC PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE.
- 12. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLIANCE, THE DESIGNER OF RECORD SHALL PROVIDE A SIGNED AND SEALED LETTER ADDRESSED TO "WHOM IT MAY CONCERN," STATING THAT THERE IS NO ADVERSE IMPACT TO ADJACENT OR ADJOINING

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SCALE: 1"=30'-0"

SAFE DIG

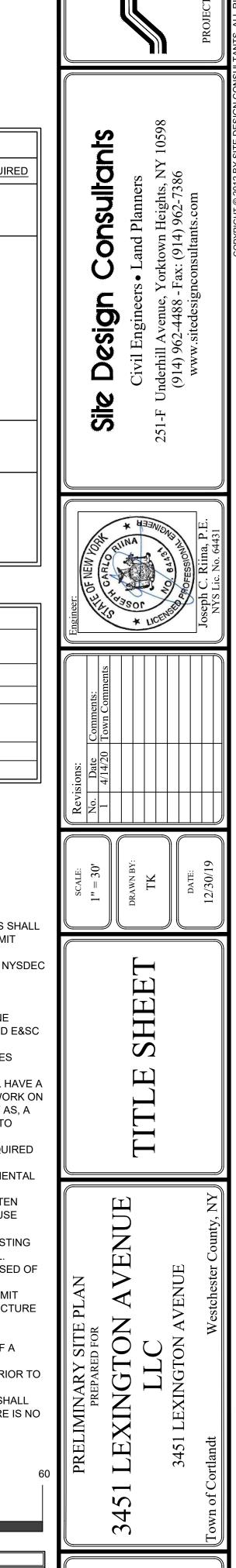
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13. THE TOWN SHALL NOT PROVIDE PICKUP FOR TRASH ENCLOSURE AT THIS LOCATION.



### **GENERAL NOTES:**

- 1. THE ENGINEER WHOSE SEAL APPEARS HEREON HAS NOT BEEN RETAINED FOR SUPERVISION OF CONSTRUCTION, SUBSEQUENTLY, HE IS NOT RESPONSIBLE FOR CONSTRUCTION AND THEREFORE ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION PRACTICES, PROCEDURES, AND RESULTS THEREFROM.
- 2. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE OR HELD ACCOUNTABLE FOR THE INTEGRITY OF ANY STRUCTURES CONSTRUCTED OR UNDER CONSTRUCTION PRIOR TO THE APPROVAL OF THE PLANS. THE TOWN ENGINEER'S OFFICE AND WATER DISTRICT OFFICE IS TO BE NOTIFIED 24 HOURS BEFORE COMMENCING SITE CONSTRUCTION OR WATER MAIN
- CONNECTION.
- ALL WORK IS TO BE IN ACCORDANCE WITH THE TOWN CODE OF PRACTICE AND SPECIFICATIONS.
- 5. ALL CONDITIONS, LOCATIONS, AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES. 6. ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER WHOSE SEALAPPEARS ON THESE DRAWINGS. ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL BUILDING PERMIT.
- 7. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS. 8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL IN A "CODE 53" PRIOR TO CONSTRUCTION FOR UNDERGROUND UTILITY LOCATIONS. 9. SUBSTRUCTURES AND THEIR ENCROACHMENTS BELOW GRADE, IF ANY, ARE NOT SHOWN.
- 9. ANY PROPOSED ELECTRIC AND/OR TELEPHONE SERVICE LINES ARE TO BE PLACED UNDERGROUND.

10. THE DESIGN ENGINEER DISCLAIMS ANY LIABILITY FOR DAMAGE OR LOSS INCURRED DURING OR AFTER CONSTRUCTION.

11. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE OWNER/ENGINEER NOTIFIED IN WRITING OF ANY DISCREPANCIES PRIOR TO THE START OF WORK. THE OWNER/ENGINEER WILL EVALUATE THE SITUATION AND MODIFY THE PLAN AS NECESSARY.

## CONTRACTOR RESPONSIBILITIES:

- 1. ALL WORK ON THE PROJECT SHALL BE PERFORMED IN A WORKMAN LIKE MANNER AND SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INDUSTRY. THE OWNER WILL BE THE SOLE JUDGE OF THE ACCEPTABILITY OF THE WORK. MATERIALS AND WORK DEEMED UNACCEPTABLE WILL BE REMOVED AND REDONE AT THE SOLE COST AND RESPONSIBILITY OF THE CONTRACTOR.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT HIS WORK AND WILL BE HELD RESPONSIBLE FOR CONSEQUENTIAL DAMAGES DUE TO HIS ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEE, AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY THE WORK UNDER A SEPARATE CONTRACT WITH THE CONTRACTOR.
- 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY SHORE EXISTING UTILITIES IF REQUIRED BY CONSTRUCTION. 4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE THE BUILDING INSPECTOR IN ADVANCE OF HIS WORK OR AS THE INSPECTOR DEEMS APPROPRIATE.
- 5. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE OWNER/ENGINEER NOTIFIED IN WRITING OF ANY DISCREPANCIES PRIOR TO THE START OF WORK. THE OWNER/ENGINEER WILL EVALUATE THE SITUATION AND MODIFY THE PLAN AS NECESSARY.
- 6. ALL CHANGES MADE TO THIS PLAN SHALL BE APPROVED BY THE ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS. ANY UNAUTHORIZED ALTERATION OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.
- 7. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THIS CONTRACT
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS, AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
- 9. THE CONTRACTOR SHALL VERIFY ALL SUBSTRUCTURES ENCOUNTERED DURING CONSTRUCTION. 10. THE CONTRACTOR SHALL SECURE & PAY FOR A BUILDERS RISK POLICY TO COVER THE PERIOD OF CONSTRUCTION. THE ENGINEER & OWNER SHALL BE NAMED AS ADDITIONAL INSURED. ALL CONTRACTORS EMPLOYED AT THE SITE SHALL BE COVERED BY WORKMAN'S COMPENSATION.

# **GENERAL CONSTRUCTION NOTES:**

- 1. BENCH MARKS USING U.S.G.S. DATUM SHALL BE OF SUCH ELEVATION THAT THE GROUND WILL SLOPE AWAY FROM IT IN ALL DIRECTIONS. 2. CONSTRUCTION ACTIVITY SHALL BE LIMITED FROM 8:00 A.M. TO 6 P.M., AND NO CONSTRUCTION ACTIVITY SHALL OCCUR ON SUNDAYS OR LEGAL NEW YORK STATE HOLIDAYS. WHERE BLASTING IS NECESSARY, IT SHALL OCCUR FROM MONDAY THROUGH FRIDAY BETWEEN THE HOURS OF 8:00 A.M. AND 6:00 P.M. NO BLASTING SHALL OCCUR ON HOLIDAYS, SATURDAY OR SUNDAY. ALL BLASTING SHALL ALSO BE COMPLETED IN ACCORDANCE WITH THE TOWN OF OSSINING AND NEW YORK STATE BLASTING ORDINANCES.
- 3. ANY SOIL THAT IS UNSUITABLE FOR DEVELOPMENT OF BUILDINGS OR ROADWAYS SHALL BE REMOVED FROM AREAS TO BE DEVELOPED AND SHALL BE DISPOSED OF WITHIN THE SITE IN NEW EMBANKMENTS WHERE STRUCTURAL LOADING, I.E. A BUILDING OR ROADWAY, WILL NOT TAKE PLACE. WHEN CONSTRUCTION IS PROPOSED TO OCCUR IN SPECIFIC AREAS WHERE SOILS ARE OF QUESTIONABLE SUITABILITY, THE APPLICANT SHALL PROVIDE SOILS ENGINEERING REPORTS AS REQUIRED BY THE PLANNING BOARD ENGINEER, PRIOR TO THE CONSTRUCTION OF ROADWAYS AND, AS REQUIRED BY THE BUILDING INSPECTOR, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- 4. NO TOPSOIL SHALL BE REMOVED FROM THE SITE. 5. ROCK CUT STABILITY IS TO BE FIELD VERIFIED BY GEOTECHNICAL ENGINEER AND SHALL BE MODIFIED IF REQUIRED.
- 6. NO CRUSHING/PROCESSING IS PERMITTED ON THE SITE WITHOUT PRIOR APPROVAL BY THE TOWN OF OSSINING PLANNING BOARD.

### **GENERAL STORM DRAINAGE & UTILITY NOTES**

- 1. ALL UTILITIES, INCLUDING ELECTRIC LINES, TELEPHONE, WATER, SANITARY SEWER LINES, AND STORM SEWER LINES SHALL BE LOCATED UNDERGROUND AND SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF OSSINING AND THE UTILITY COMPANIES HAVING JURISDICTION. 2. LOCATION OF GAS AND WATER VALVES, ELECTRIC AND TELEPHONE POLES ARE TO BE DETERMINED BY PROPER AUTHORITIES AND APPROVED, AS TO LOCATION,
- BY THE TOWN ENGINEER.
- 3. EACH BUILDING CONSTRUCTED HEREON SHALL BE OF SUCH AN ELEVATION THAT THE GROUND WILL SLOPE AWAY FROM IT IN ALL DIRECTIONS. IN THE EVENT THIS IS NOT FEASIBLE, THE CONTRACTOR SHALL INSTALL TYPICAL YARD DRAINS AS REQUIRED AND CONNECT THEM TO THE STORM DRAINAGE SYSTEM OR AS DIRECTED BY THE PROJECT ENGINEER
- 4. ROOF LEADERS AND FOOTING DRAINS SHALL EMPTY INTO THE STORM DRAINAGE SYSTEM OR DISCHARGE DIRECTLY TO STORMWATER MANAGEMENT SYSTEMS GRADES PERMIT, AND CONNECTION TO THE STORM SYSTEM IS NOT FEASIBLE, FOOTING DRAINS ONLY MAY DISCHARGE TO DAYLIGHT AT THE REAR OF BUILDIN FOOTING DRAINS SHALL EXTEND A MINIMUM OF 30 FT. FROM THE REAR FACE OF THE BUILDING WHEN POSSIBLE. UNDER NO CIRCUMSTANCES SHALL THE DISCHARGE OF GROUND WATER OR STORM WATER, EITHER BY GRAVITY OR BY PUMPING, BE DISCHARGED TO ANY SANITARY SEWER SYSTEM
- 5. ANY REVISIONS AND/OR ADDITIONS TO THE ROAD STORM DRAINAGE SYSTEMS CURRENTLY SHOWN ON THE PLANS WHICH ARE DEEMED NECESSARY DURING CONSTRUCTION MUST BE MADE BY THE CONTRACTOR AS REQUIRED BY THE TOWN AND SHALL BE SHOWN ON THE AS-BUILT DRAWINGS. 6. STORM DRAIN PIPING TO BE HIGH DENSITY POLYETHYLENE AS SHOWN ON THE CONSTRUCTION DRAWINGS. MINIMUM COVER TO BE 2' UNLESS OTHERWISE
- NOTED
- 7. INTERCEPTOR DRAINS ARE TO BE INSTALLED WHERE REQUIRED BY THE TOWN OR PROJECT ENGINEER DURING ROAD CONSTRUCTION. 8. ALL EXISTING UNDERGROUND DRAINS ENCOUNTERED DURING CONSTRUCTION OF PROPOSED ROADS ARE TO BE CONNECTED TO PROPOSED DRAINAGE
- IMPROVEMENTS. CONNECTIONS TO BE APPROVED BY THE TOWN ENGINEER. 9. PRIOR TO FINAL APPROVAL AND OPERATION OF DRAINAGE SYSTEM, CONTRACTOR SHALL CLEAR ALL ACCUMULATED SEDIMENT AND/OR DEBRIS FROM DRAINAGE STRUCTURES, MANHOLES, CULVERTS, OUTLETS AND DRAIN INLETS. ENGINEER SHALL BE NOTIFIED FOR FINAL INSPECTION.
- 10. ALL STRUCTURES SHALL BE SET ONE INCH BELOW PAVEMENT. 11. STREET OPENING PERMIT FROM THE TOWN OF OSSINING D.P.W. MAY BE REQUIRED FOR INSTALLATIONS IN PUBLIC ROADS.

### WALL NOTES:

- 1. EXCAVATION IN GENERAL SHALL CONFORM TO THE LINES AND GRADES SHOWN ON THE CONTRACT DRAWINGS.
- 2. THE ENGINEER SHALL BE NOTIFIED OF UNSUITABLE SUB-GRADE SOILS PRIOR TO PLACEMENT OF WALL. 3. WALLS TO BE CONSTRUCTED ON VIRGIN IN-SITU SOIL SHALL HAVE A MINIMUM ALLOWABLE BEARING CAPACITY OF 2 TSF. ALL OTHER CONDITIONS SHALL BE
- APPROVED BY THE GEOTECHINICAL ENGINEER. 4. TO INSURE A PROPER BEARING SURFACE, THE WALL SHALL BE CONSTRUCTED ON NATURAL IN-SITU SOIL, THE CONTRACTOR SHALL STRIP ALL TOP SOIL. THE AREA
- SHALL THEN BE COMPACTED USING SUITABLE COMPACTION EQUIPMENT. A MINIMUM OF 3 PASSES SHALL BE MADE. 5. WALLS SHALL NOT BE CONSTRUCTED ON WET OR FROZEN GROUND.
- 6. SOILS USED AS BACKFILL SHALL CONSIST OF CLEAN DRY SOIL. THE MATERIAL SHALL BE GRANULAR AND FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL. IN GENERAL THE SOIL SHALL BE NON- PLASTIC WITH A PLASTICITY INDEX LESS THAN 5 AND SHALL CONFORM TO THE AASHTO SOIL CLASSIFICATION SYSTEM FOR AN "A-1-A" SOIL . HOWEVER THE MAXIMUM SIZE SHALL BE 6". IN GENERAL ALL FILL SHALL BE APPROVED BY THE ENGINEER PRIOR TO IT'S USE. WET MATERIAL OR UNSUITABLE MATERIAL SHOULD NOT BE USED.
- 7. BACKFILL SHALL BE PLACED AND COMPACTED IN A MAXIMUM 12" LIFTS.

8. ALL BOULDER RETAINING WALLS SHALL HAVE A GEOTEXTILE FABRIC BACKING FOR THE FULL HIEGHT OF THE WALL AS MANUFACTURED BY MIRAFI OR APPROVED EQUAL.

9. IF GROUNDWATER IS ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY TO DETERMINE IF THE ADDITION OF AN UNDERDRAIN MAY BE REQUIRED. 10. THE CONTRACTOR SHALL NOT USE LARGE OR HEAVY CONSTRICTION EQUIPMENT WITHIN 5' OF THE RETAINING WALLS OR NEW FOUNDATION WALLS. HAND OPERATED COMPACTING EQUIPMENT SHALL BE USED WITHIN 5' OF THE WALL FACE.

11. ALTERNATE WALL DESIGNS MUST BE SEALED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER THE MINIMUM FACTORS OF SAFETY FOR SLIDING AND OVERTURNING SHALL BE 2.0.

# MAINTENANCE SCHEDULE:

			i			
	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE			INSP.	INSP.	CLEAN/ REPLACE	REMOVE
WHEEL CLEANER	CLEAN				REPLACE	REMOVE
INLET PROTECTION		INSP.	INSP.	CLEAN	REPLACE	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

# MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

# STRUCTURAL REPAIR/REPLACEMENT

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

# **EROSION CONTROL:**

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

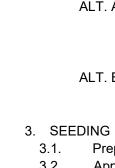
SEDIMENT REMOVAL

Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor TE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW SEED S MIXTUR Rapidly

# TOPSOIL

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SEEDING: Same as permanent vegetative cover

# GENERAL EROSION CONTROL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED. ROAD SURFACE FLOWS FROM THE SITE SHOULD BE DISSIPATED WITH TRACKING PAD OR APPROPRIATE MEASURES DURING ADJACENT ROAD SHOULDER REGRADING. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL DEVICES THROUGHOUT THE COURSE OF CONSTRUCTION.

2. CATCH BASIN INLET PROTECTION MUST BE INSTALLED AND OPERATING AT ALL TIMES UNTIL TRIBUTARY AREAS HAVE BEEN STABILIZED. WHEN POSSIBLE FLOWS SHOULD BE STABILIZED BEFORE REACHING INLET PROTECTION STRUCTURE. TIMELY MAINTENANCE OF SEDIMENT CONTROL

STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. 3. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND AFTER EACH HEAVY RAIN TO INSURE PROPER OPERATION AS DESIGNED. AN INSPECTION SCHEDULE SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION.

4. THE LOCATIONS AND THE INSTALLATION TIMES OF THE SEDIMENT CAPTURING STANDARDS SHALL BE AS SPECIFIED IN THESE PLANS, AS ORDERED BY THE ENGINEER, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" (NYSSESC).

5. ALL TOPSOIL SHALL BE PLACED IN A STABILIZED STOCKPILE FOR REUSE ON THE SITE. ALL STOCKPILE MATERIAL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE TEMPORARILY SEEDED AND MULCHED WITHIN 7 DAYS. REFER TO SOIL STOCKPILE DETAILS. 6. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 7 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY

RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL NOT BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING. 7. ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.

8. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT. 9. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY

STABILIZED BY PERMANENT MEASURES. 10. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT EDITION OF NYSSESC.

11. ALL REGRADED AREAS MUST BE STABILIZED APPROPRIATELY PRIOR TO ANY ROCK BLASTING, CUTTING, AND/OR FILLING OF SOILS. SPECIAL CARE SHOULD BE TAKEN DURING CONSTRUCTION TO INSURE STABILITY DURING MAINTENANCE AND INTEGRITY OF CONTROL STRUCTURES. 12. ANY SLOPES GRADED AT 3:1 OR GREATER SHALL BE STABILIZED WITH EROSION BLANKETS TO BE STAKED INTO PLACE IN ACCORDANCE WITH THE MANUFACTURES REQUIREMENTS. EROSION BLANKETS MAY ALSO BE REQUIRED AT THE DISCRETION OF TOWN OFFICIALS OR PROJECT ENGINEER. WHEN STABILIZED BLANKET IS UTILIZED FOR CHANNEL STABILIZATION, PLACE ALL OF THE VOLUME OF SEED MIX PRIOR TO LAYING NET, OR AS RECOMMENDED BY THE MANUFACTURER.

13. TO PREVENT HEAVY CONSTRUCTION EQUIPMENT AND TRUCKS FROM TRACKING SOIL OFF-SITE, CONSTRUCT A PERVIOUS CRUSHED STONE PAD. LOCATE AND CONSTRUCT PADS AS DETAILED IN THESE PLANS.

14. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. CONTRACTOR TO SUPPLY ALL EQUIPMENT AND WATER.

15. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION INSPECTIONS AS PER NYSDEC GP-0-15-002 AND TOWN OF OSSINING CODE. MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

N.Y.S.D.E.C. GP-0-15-002 EXPOSURE RESTRICTIONS - STATES THAT ANY EXPOSED EARTHWORK SHALL BE STABILIZED IN ACCORDANCE WITH THE GUIDELINES OF THIS PLAN.

1. TREES AND VEGETATION SHALL BE PROTECTED AT ALL TIMES AS SHOWN ON THE DETAIL DRAWING AND AS DIRECTED BY THE ENGINEER. 2. CARE SHOULD BE TAKEN SO AS NOT TO CHANNEL CONCENTRATED RUNOFF THROUGH THE AREAS OF CONSTRUCTION ACTIVITY ON THE SITE. 3. FILL AND SITE DISTURBANCES SHOULD NOT BE CREATED WHICH CAUSES WATER TO POND OFF SITE OR ON ADJACENT PROPERTIES. 4. RUNOFF FROM LAND DISTURBANCES SHALL NOT BE DISCHARGED OR HAVE THE POTENTIAL TO DISCHARGE OFF SITE WITHOUT FIRST BEING INTERCEPTED BY A CONTROL STRUCTURE, SUCH AS A SEDIMENT TRAP OR SILT FENCE. SEDIMENT SHALL BE REMOVED BEFORE EXCEEDING 50% OF THE RETENTION STRUCTURE'S CAPACITY.

5. FOR FINISHED GRADING, ADEQUATE GRADE SHALL BE PROVIDED SO THAT WATER WILL NOT POND ON LAWNS FOR MORE THAN 24 HOURS AFTER RAINFALL, EXCEPT IN SWALE FLOW AREAS WHICH MAY DRAIN FOR AS LONG AS 48 HOURS AFTER RAINFALL.

6. ALL SWALES AND OTHER AREAS OF CONCENTRATED FLOW SHALL BE PROPERLY STABILIZED WITH TEMPORARY CONTROL MEASURES TO PREVENT EROSION AND SEDIMENT TRAVEL. SURFACE FLOWS OVER CUT AND FILL AREAS SHALL BE STABILIZED AT ALL TIMES.

7. ALL SITES SHALL BE STABILIZED WITH EROSION CONTROL MATERIALS WITHIN 7 DAYS OF FINAL GRADING.

8. TEMPORARY SEDIMENT TRAPPING DEVICES SHALL BE REMOVED FROM THE SITE WITHIN 30 DAYS OF FINAL STABILIZATION.

topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as on these plans. The furnishing of new topsoil shall be of a better or equal to the following criteria (SS713.01 NYSDOT):

e pH of the material shall be 5.5 to 7.6. organic content shall not be less than 2% or more than 70%.

on:	SIEVE SIZE	<u>% PASSING BY WGT.</u>
	2 INCH	100
	1 INCH	85 TO 100
	1/4 INCH	65 TO 100
	NO. 200 MESH	20 TO 80

### MANENT VEGETATIVE COVER:

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6-4 4 lbs/1,000 S.F.	
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n swales and cut and fill areas.	
	LBS./ACRE
KENTUCKY BLUE GRASS	20
CREEPING RED FESCUE	28
RYE GRASS OR REDTOP	5
	20
	2
TALL FESCUE/SMOOTH BLOOMGRASS	20
	ed soil areas. to ph 6.5. 6-4 4 lbs/1,000 S.F. ndments into soil with disc harrow. n swales and cut and fill areas. KENTUCKY BLUE GRASS CREEPING RED FESCUE

3.1. Prepare seed bed by raking to remove stones, twigs, roots and other foreign material. Apply soil amendments and integrate into soil.

Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated. Stabilize seeded areas in drainage swales.

Irrigate to fully saturate soil layer, but not to dislodge planting soil.

Seed between April 1st and May 15th or August 15th and October 15th.

Seeding may occur May 15th and August 15th if adequate irrigation is provided. PORARY VEGETATIVE COVER:

REPARATION:

stall erosion control measures.

arify areas of compacted soil. 3. Fertilize with 10-10-10 at 400/acre.

4. Lime as required to ph 6.5.

SPECIES:	
RE	LBS./ACRE
germinating annual ryegrass	20
roved equal)	
ial ryegrass	20
oats	36

CONSTRUCTION SEQUENCE

- CONSTRUCTION.

- FROM DISTURBANCE. THE BUILDING.
- REQUIRED BY THE SITE PLAN AND DETAILS.

- AREAS, LANDSCAPE BEDS, SLOPES, ETC.

WINTER STABILIZATION NOTES:

IF CONSTRUCTION ACTIVITIES ARE EXPECTED TO EXTEND INTO OR OCCUR DURING THE WINTER SEASON THE CONTRACTOR SHALL ANTICIPATE PROPER STABILIZATION AND SEQUENCING. CONSTRUCTION SHALL BE SEQUENCED SUCH THAT WHEREVER POSSIBLE AREAS OF DISTURBANCE THAT CAN BE COMPLETED AND PERMANENTLY STABILIZED SHALL BE DONE BY APPLYING AND ESTABLISHING PERMANENT VEGETATIVE COVER BEFORE THE FIRST FROST. AREAS SUBJECT TO TEMPORARY DISTURBANCE THAT WILL NOT BE WORKED FOR AN EXTENDED PERIOD OF TIME SHALL BE TREATED WITH TEMPORARY SEED, MULCH, AND/OR EROSION BLANKETS.

**OWNER / OPERATOR CERTIFICATION** "I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. FURTHER, I HEREBY CERTIFY THAT THE SWPPP MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND SEDIMENT CONTROL REQUIREMENTS. I AM AWARE THAT FALSE STATEMENTS MADE HEREIN ARE PUNISHABLE AS A CLASS A MISDEMEANOR PURSUANT TO SECTION 210.45 OF THE PENAL LAW."

NAME (PLEASE PRINT):

TITLE:	
DATE:	
ADDRESS:	
PHONE:	
E-MAIL:	

SIGNATURE:

CONTRACTOR CERTIFICATION STATEMENT CERTIFICATION STATEMENT - ALL CONTRACTORS AND SUBCONTRACTORS AS IDENTIFIED IN A SWPPP, BY THE OWNER OR OPERATOR, IN ACCORDANCE WITH PART III.A.5 OF THE SPDES GENERAL PERMIT FOR STORMWATER RUNOFF FROM CONSTRUCTION ACTIVITY, GP-0-15-002, DATED JANUARY 12, 2015, PAGE 10 OF 40, SHALL SIGN A COPY OF THE FOLLOWING CERTIFICATION STATEMENT BEFORE UNDERTAKING ANY CONSTRUCTION ACTIVITY AT THE SITE IDENTIFIED IN THE SWPPP:

"I HEREBY CERTIFY THAT I UNDERSTAND AND AGREE TO COMPLY WITH THE TERMS AND CONDITIONS OF THE SWPPP AND AGREE TO IMPLEMENT ANY CORRECTIVE ACTIONS IDENTIFIED BY THE QUALIFIED INSPECTOR DURING A SITE INSPECTION. I ALSO UNDERSTAND THAT THE OWNER OR OPERATOR MUST COMPLY WITH THE TERMS AND CONDITIONS OF THE NEW YORK STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM ("SPDES") GENERAL PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS. FURTHERMORE, I UNDERSTAND THAT CERTIFYING FALSE, INCORRECT OR INACCURATE INFORMATION IS A VIOLATION OF THE REFERENCED PERMIT AND THE LAWS OF THE STATE OF NEW YORK AND COULD SUBJECT ME TO CRIMINAL, CIVIL AND/OR ADMINISTRATIVE PROCEEDINGS."

INDIVIDUAL CONTRACTOR: NAME AND TITLE (PLEASE PF SIGNATURE OF CONTRACTO COMPANY / CONTRACTING FIRM: NAME OF COMPANY: ADDRESS OF COMPANY:

TELEPHONE NUMBER / CELL NUMBER: SITE INFORMATION: ADDRESS OF SITE:

TODAY'S DATE:

### REFER TO THE PLAN SET FOR ALL PLANS AND DETAILS WHICH RELATE TO CONSTRUCTION SEQUENCE.

1. PRIOR TO THE BEGINNING OF ANY SITE WORK THE MAJOR FEATURES OF THE CONSTRUCTION MUST BE FIELD STAKED BY A LICENSED SURVEYOR, THESE INCLUDE THE BUILDING, LIMITS OF DISTURBANCE, UTILITY LINES, AND STORMWATER PRACTICES.

2. PRIOR TO THE START OF THE PROJECT, AN ON-SITE PRE-CONSTRUCTION MEETING WILL BE HELD. THIS WILL BE ATTENDED BY THE PROJECT OWNER, THE OPERATOR RESPONSIBLE FOR COMPLYING WITH THE APPROVED CONSTRUCTION DRAWINGS INCLUDING THE EROSION AND SEDIMENT CONTROL (E&SC) PLAN AND DETAILS, THE DESIGN ENGINEER, THE ENGINEER RESPONSIBLE FOR E&SC MONITORING DURING CONSTRUCTION, TOWN REPRESENTATIVES FROM THE ENGINEERING DEPARTMENT AND CODE ENFORCEMENT. 3. A LICENSED SURVEYOR MUST DEFINE INFRASTRUCTURE LOCATIONS, LIMITS OF DISTURBANCE, STORMWATER MANAGEMENT PRACTICE LIMITS, AND GRADES IN THE FIELD PRIOR TO START OF ANY CONSTRUCTION. LIMITS OF DISTURBANCE SHALL BE MARKED WITH THE INSTALLATION OF CONSTRUCTION FENCE OR APPROVED EQUAL. THE EXTENTS OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE CORDONED OFF TO MINIMIZE THE DISTURBANCE ON THIS AREA.

4. INSTALL ALL PERIMETER EROSION CONTROL MEASURES, CONSTRUCTION ENTRANCE AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN AND THE ASSOCIATED DETAILS. INSTALL SILT FENCING AT THE BOTTOM OF SLOPES. THE STANDARDS ESTABLISHED IN PART 1.B 1.B OF THE GP-015-002 INCLUDED IN APPENDIX B OF THIS SWPPP MUST BE ADHERED TO. 5. STRIP SITE, CLEAR VEGETATION, AND PLACE TOPSOIL IN STOCKPILE LOCATIONS SHOWN ON THE PLAN.

6. BEGIN ROUGH GRADING THE SITE, CONTRACTOR TO LIMIT EXPOSURE OF DENUDED SOILS BY PROVIDING TEMPORARY STABILIZATION FOR WORK AREAS THAT WILL REMAIN UNDISTURBED FOR OVER SEVEN (7) DAYS. CHIPPED ROCK THAT IS NOT SUITABLE TO REMAIN ON SITE SHALL BE HAULED AWAY AND PROPERLY DISPOSED OF. AN AREA HAS BEEN PROVIDED FOR THE STOCKPILING OF REMOVED SOIL AND ROCK WHICH IS TO BE REMOVED FROM THE SITE.

7. ROUGH GRADE THE DRIVEWAY ALONG THE SOUTHERN PROPERTY LINE TO ALLOW FOR THE INSTALLATION OF THE NEW STABILIZED CONSTRUCTION ENTRANCE. THIS ENTRANCE SHALL BE THE MAIN ACCESS POINT FOR EMERGENCY VEHICLES DURING

INSTALL STABILIZED CONSTRUCTION ENTRANCE AT LOCATION SHOW ALONG THE SOUTHERN PROPERTY LINE. 9. ROUGH GRADE BUILDINGS, DRIVEWAYS, AND PARKING AREAS. DURING THE GRADING OF THE DRIVEWAYS, CONSTRUCT THE RETAINING WALL ALONG THE SOUTHERN AND EASTERN PROPERTY LINES. BEFORE THE REAR PARKING LOT CAN BE CONSTRUCTED. INSTALL THE RETAINING WALL AT THE REAR OF THE SITE.

10. BEGIN CONSTRUCTION OF THE MAIN BUILDING. CONSTRUCTION OF THE REAR ACCESSORY BUILDING MAY BEGIN ONCE ENOUGH OF THE DRIVEWAYS HAVE BEEN ROUGH GRADED THAT THE BUILDING AREA MAY BE ACCESSED 11. BEGIN THE EXCAVATION AND INSTALLATION OF THE STORMWATER MANAGEMENT SYSTEM. PROTECT TRENCHES AND OPEN EXCAVATIONS FROM EROSION. ENTRY INTO THE SYSTEM SHALL BE BLOCKED OFF UNTIL SITE HAS REACHED FINAL STABILIZATION. ONCE SYSTEM HAS BEEN INSTALLED. BACKFILL, SEED WHERE NECESSARY, AND REINSTALL MEASURES TO CORDON OFF THE SYSTEM

12. ONCE THE BUILDING FOUNDATION HAS BEEN INSTALLED. BEGIN CONSTRUCTION OF THE RETAINING WALL ON THE NORTH SIDE OF

13. DURING SITE CONSTRUCTION MAINTAIN AND RE-ESTABLISH AS REQUIRED EROSION CONTROL AND STABILIZATION MEASURES AS

14. PRIOR TO THE PLACEMENT OF ANY BINDER COURSE AN AS-BUILT CENTERLINE PROFILE OF THE PROPOSED ROADWAY SHALL BE SUBMITTED FOR REVIEW AND APPROVAL. SPOT ELEVATION SHALL BE SHOWN IN INTERVALS NOT TO EXCEED 100FT AND AT ALL DESIGN POINTS. THE PROFILE SHALL BE STATIONED IN ACCORDANCE TO THE APPROVED PROFILE ON FILE WITH THE TOWN. 15. EXCAVATE TO THE SUB-GRADE LEVEL. SCARIFY THE EXISTING SOIL TO A DEPTH OF 12-INCHES BY ROTOTILLING OR OTHER MEANS

ACCEPTABLE TO THE ENGINEER. INSTALL ALL COURSES OF STONE AS PER THE SPECIFICATIONS GIVEN ON THE PLAN.

16. INSTALL BASE COURSE OF ITEM 4 IN ALL PAVEMENT AREAS. STABILIZE ALL OPEN AREAS WITH SEED AND MULCH.

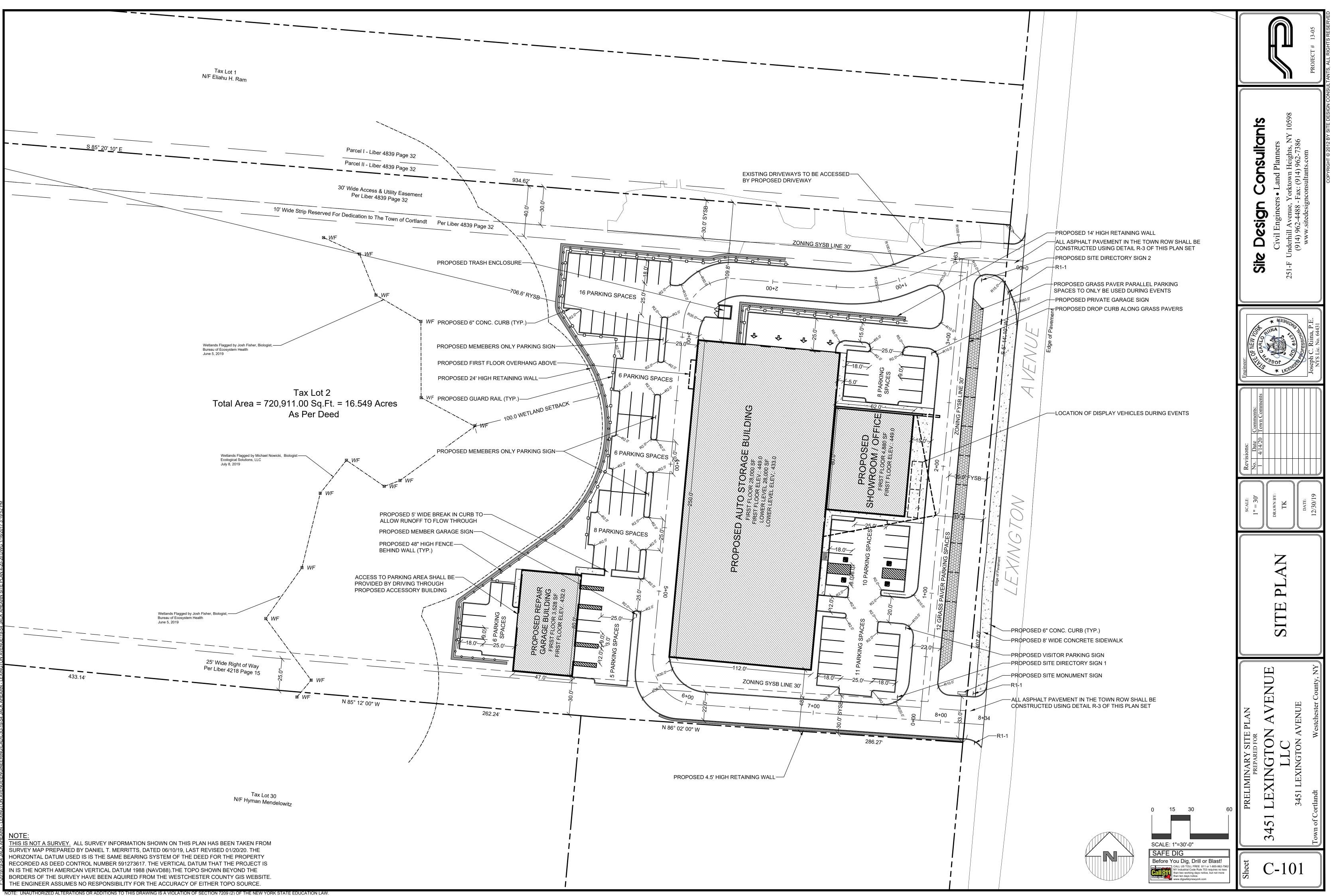
17. CONSTRUCT REMAINDER OF BUILDING, DRIVEWAY AND PARKING AREAS. FIRST INSTALL CURBS, ASPHALT BINDER, AND CONCRETE SIDEWALK. ONCE BINDER COURSE IS INSTALLED, DRAINAGE OUTLET MAY BE UNBLOCKED. 18. BACKFILL CURBS, GRADE, PLACE FINAL SOIL TOPPING AND PUT IN PLACE PERMANENT VEGETATIVE COVER OVER ALL DISTURBED

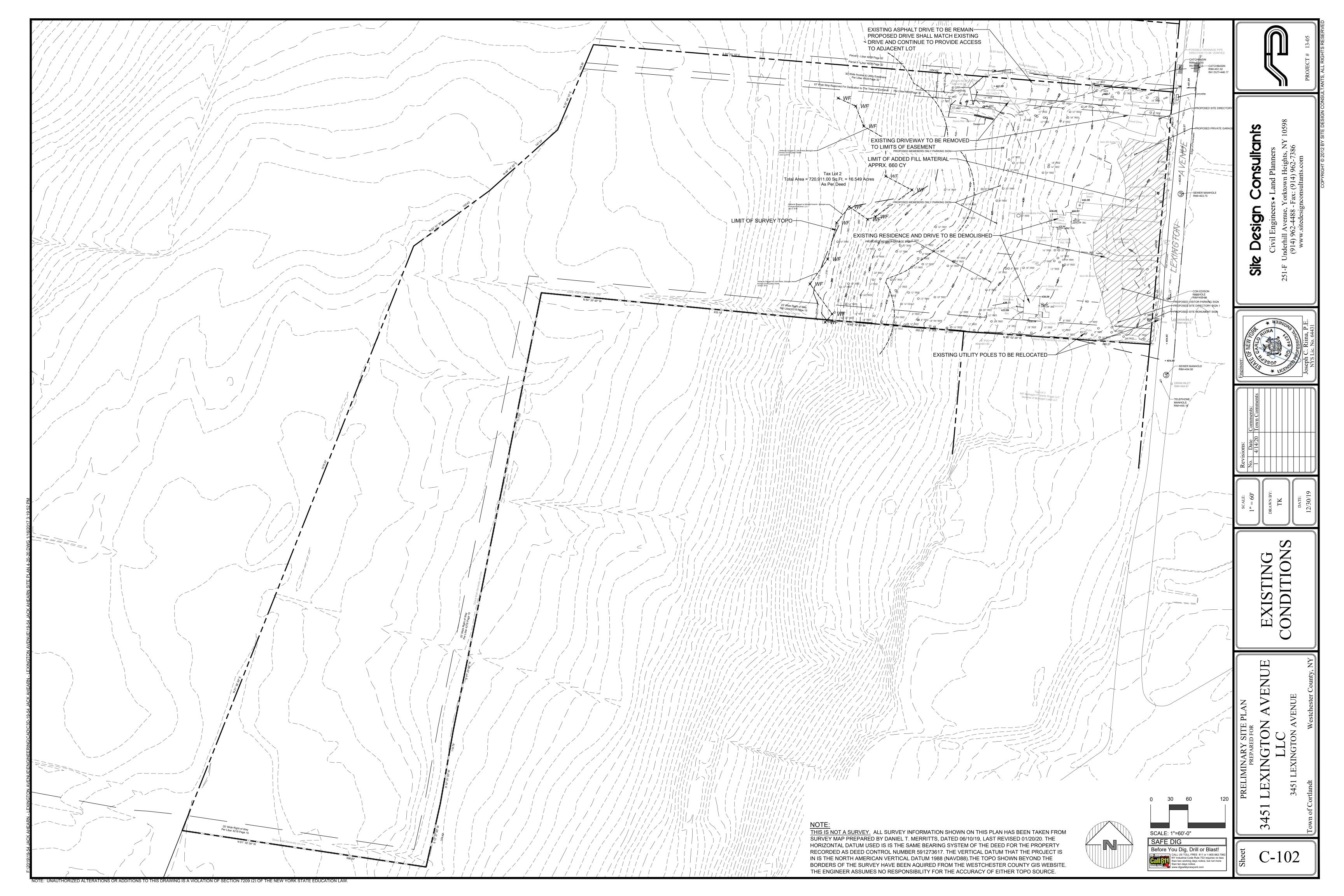
19. ONCE SITE STABILIZATION HAS TAKEN PLACE (AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 80% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS), REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROLS, UNPLUG THE DRAINAGE SYSTEM TO ALLOW RUNOFF TO ENTER THE STORMWATER MANAGEMENT SYSTEM.

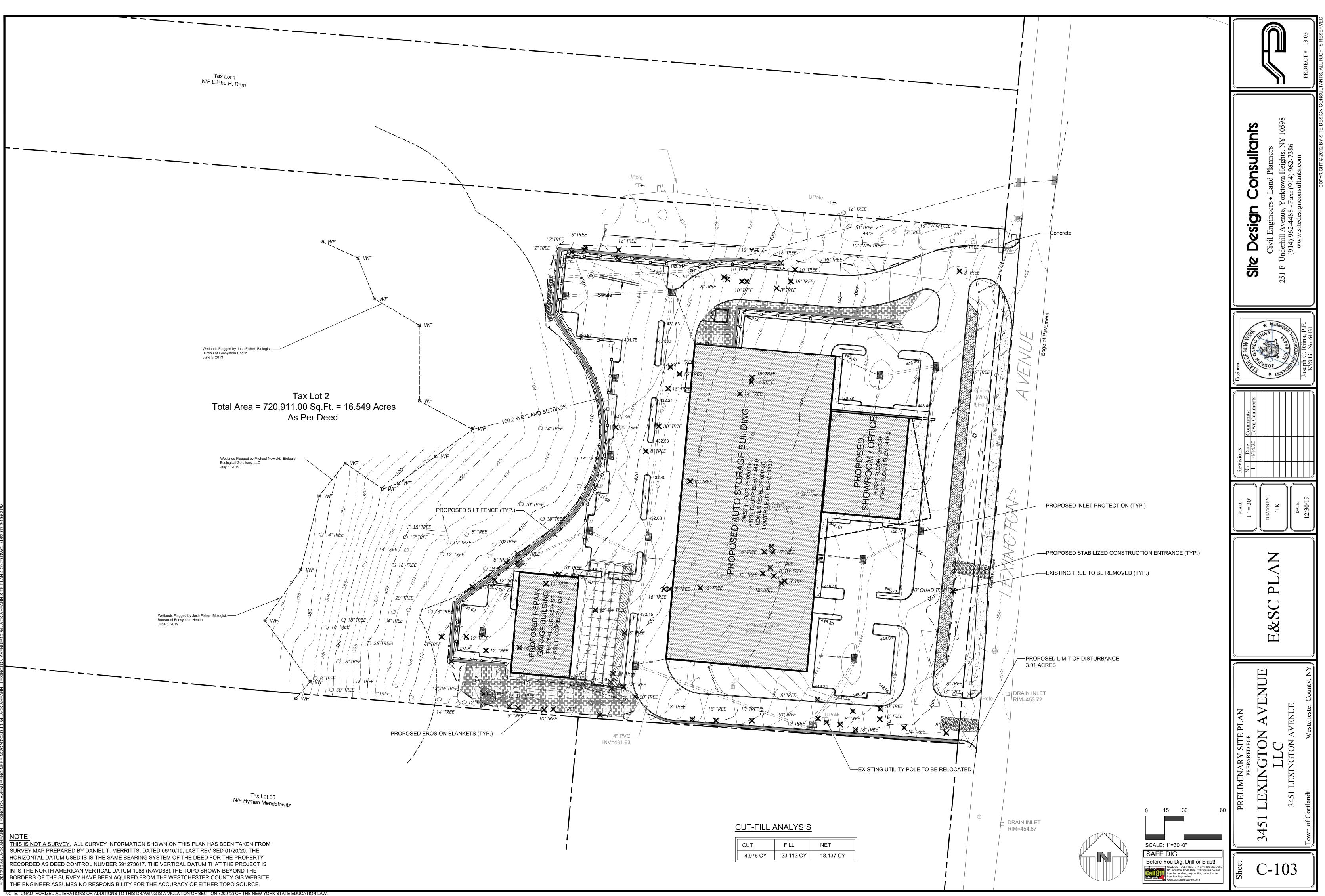
RINT):
R:

		PROJECT # 19-54
	Sile Design Consultants Sile Design Consultants Civil Engineers • Land Planners 251-F Underhill Avenue, Yorktown Heights, NY 10598 (914) 962-4488 - Fax: (914) 962-7386	
	Engineer:	Joseph C. Riina, P.E. NYS Lic. No. 64431
	Revisions:       No.     Date       I     4/14/20       Town Comments:	
	SCALE: NTS DRAWN BY: TK DATE:	12/30/19
)	NOTES	
	PRELIMINARY SITE PLAN PREPARED FOR 451 LEXINGTON AVENUE LLC 3451 LEXINGTON AVENUE	dt Westchester County, NY
	t PREL 3451 3451	Town of Cortlandt

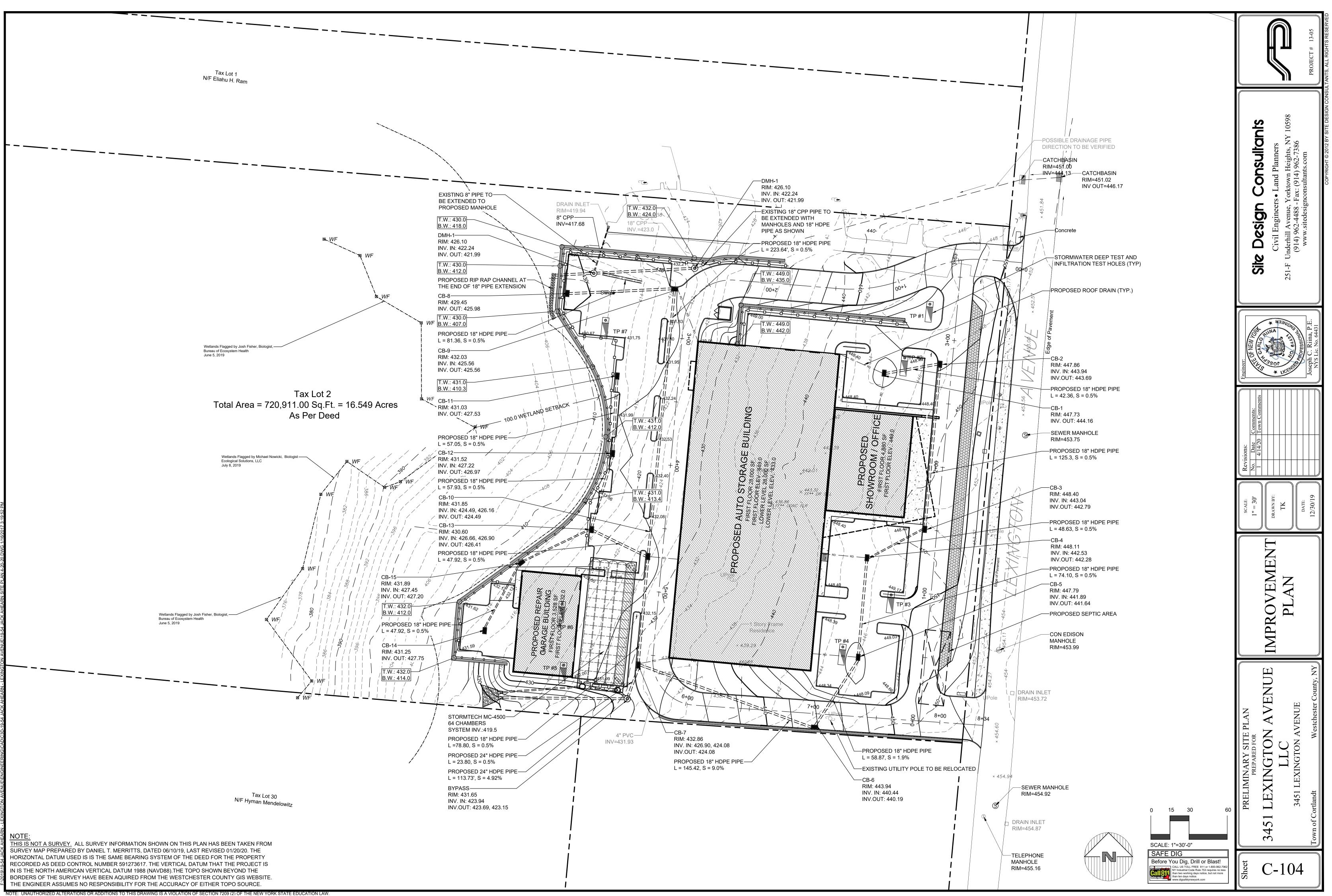
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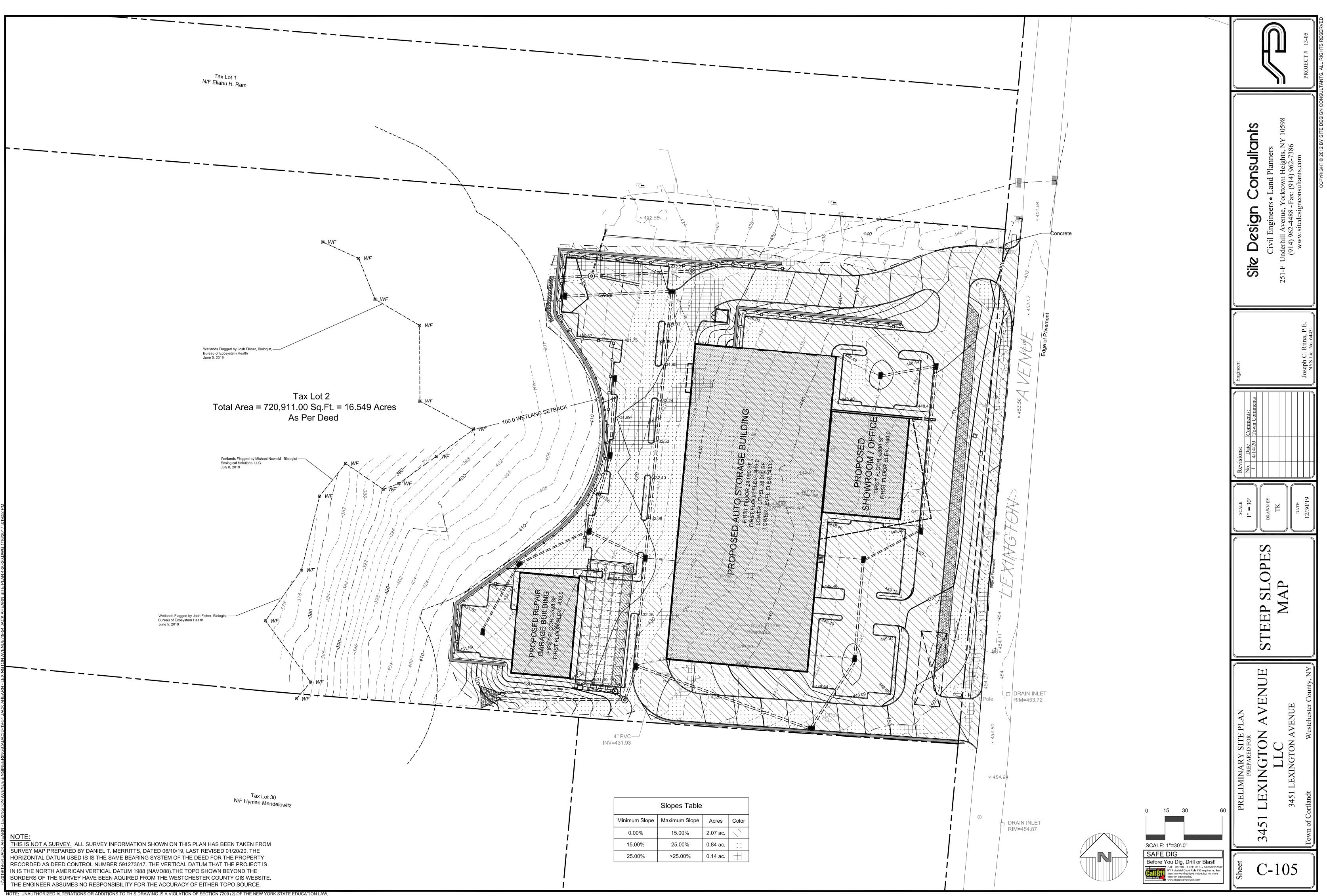






CUT	FILL	NET
4,976 CY	23,113 CY	18,137 CY





	Slopes Table		
Minimum Slope	Maximum Slope	Acres	Color
0.00%	15.00%	2.07 ac.	
15.00%	25.00%	0.84 ac.	
25.00%	>25.00%	0.14 ac.	

# Average Grade and Building Height Calculation

Project Name: Ahearn Completed By: Thomas Kerrigan

Prepared By: Site Design Consultants

Project Number: 19-54 Date: 4/14/2020

Tax Lot 1 N/F Eliahu H. Ram

Wa	ll Grade C	Change		Wall Length		Grade Area
433.17	+	434.54		39.81	=	17271.77 ft <sup>2</sup>
435.04	2.00	446.90				
	2.00	-+0.50	х	112.91	=	49789.92 ft <sup>2</sup>
446.90	+	448.70		0.00		2000.04.62
	2.00		х	8.89	=	3980.94 ft <sup>2</sup>
448.20	+	448.12	x	21.5	=	9635.44 ft <sup>2</sup>
	2.00		^	21.5	_	5055.44 JL
448.12	+	448.54	х	43.64	=	19565.12 ft <sup>2</sup>
	2.00		~			10000.12 1(
448.54	+	448.25	х	14.6	=	6546.57 ft <sup>2</sup>
440.25	2.00	440.20				
448.25	+ 2.00	448.26	х	37.86	=	16970.93 ft <sup>2</sup>
448.26	2.00	448.24				
	2.00	440.24	х	10.87	=	4872.48 ft <sup>2</sup>
448.24	+	448.59				
	2.00		х	30.54	=	13694.59 ft <sup>2</sup>
449.09	+	449.27		10.07		4027 FO 6 <sup>2</sup>
	2.00		х	10.97	=	4927.50 ft <sup>2</sup>
448.77	+	448.84	x	4.52	=	2028.60 ft <sup>2</sup>
	2.00		^	4.52	_	2028.00 1
448.84	+	448.67	х	60.01	=	26929.79 ft <sup>2</sup>
	2.00		~	00.01		20323.73 11
448.67	+	448.44	x	60.01	=	26917.79 ft <sup>2</sup>
	2.00	440.40				
448.44	+	448.40	x	4.50	=	2017.89 ft <sup>2</sup>
448.90	2.00	448.90				
440.90	2.00	440.90	х	11.00	=	4937.90 ft <sup>2</sup>
448.40	+	448.01				
	2.00		х	30.47	=	13656.81 ft <sup>2</sup>
448.01	+	448.22		10.00		7210 17 52
	2.00		х	16.09	=	7210.17 ft <sup>2</sup>
448.22	+	448.10	x	43.44	=	19468.07 ft <sup>2</sup>
	2.00		^	43.44		19408.07 1
448.10	+	449.00	х	94.44	=	42361.06 ft <sup>2</sup>
	2.00					
449.50	+	449.50	x	5.50	=	2472.25 ft <sup>2</sup>
440 50	2.00	428.00				
449.50	+ 2.00	438.00	х	2.00	=	887.50 ft <sup>2</sup>
438.00	+	433.50	1			
	2.00	433.50	х	25.56	=	11137.77 ft <sup>2</sup>
433.00	+	431.96				
	2.00		х	24.41	=	10556.84 ft <sup>2</sup>
431.96	+	431.90	V	15.02	_	6487.59 ft <sup>2</sup>
	2.00		x	15.02	=	Π 65.1040
431.90	+	432.65	х	90.54	=	39138.18 ft <sup>2</sup>
	2.00		~	50.54		
432.65	+	431.90	х	90.54	=	39138.18 ft <sup>2</sup>
424.00	2.00	400.47				
431.90	+	433.17	х	93.91	=	40619.36 ft <sup>2</sup>
	2.00					

Total =

=

443221.01 ft<sup>2</sup>

1003.55

441.65

Perimeter

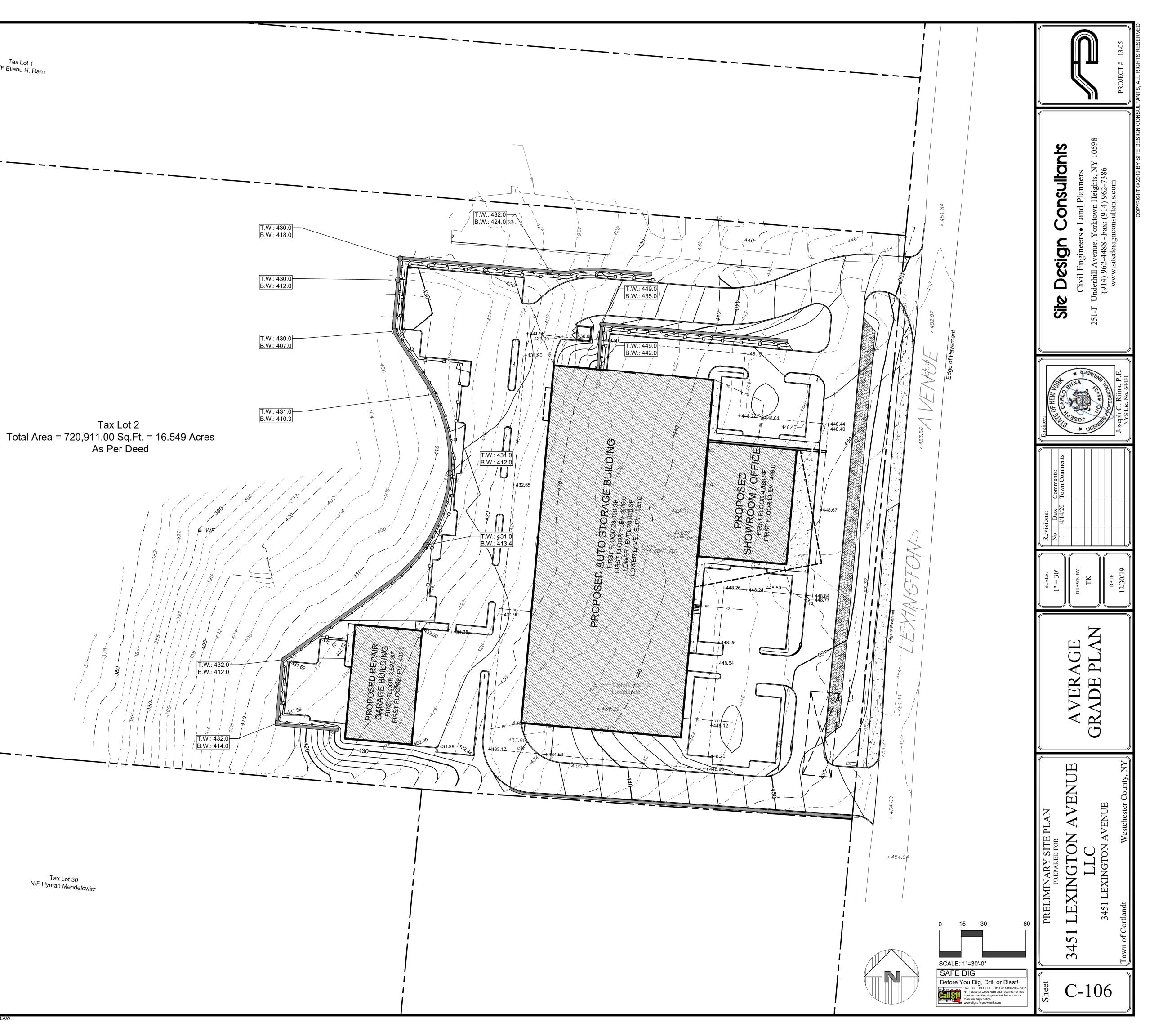
Average Grade =

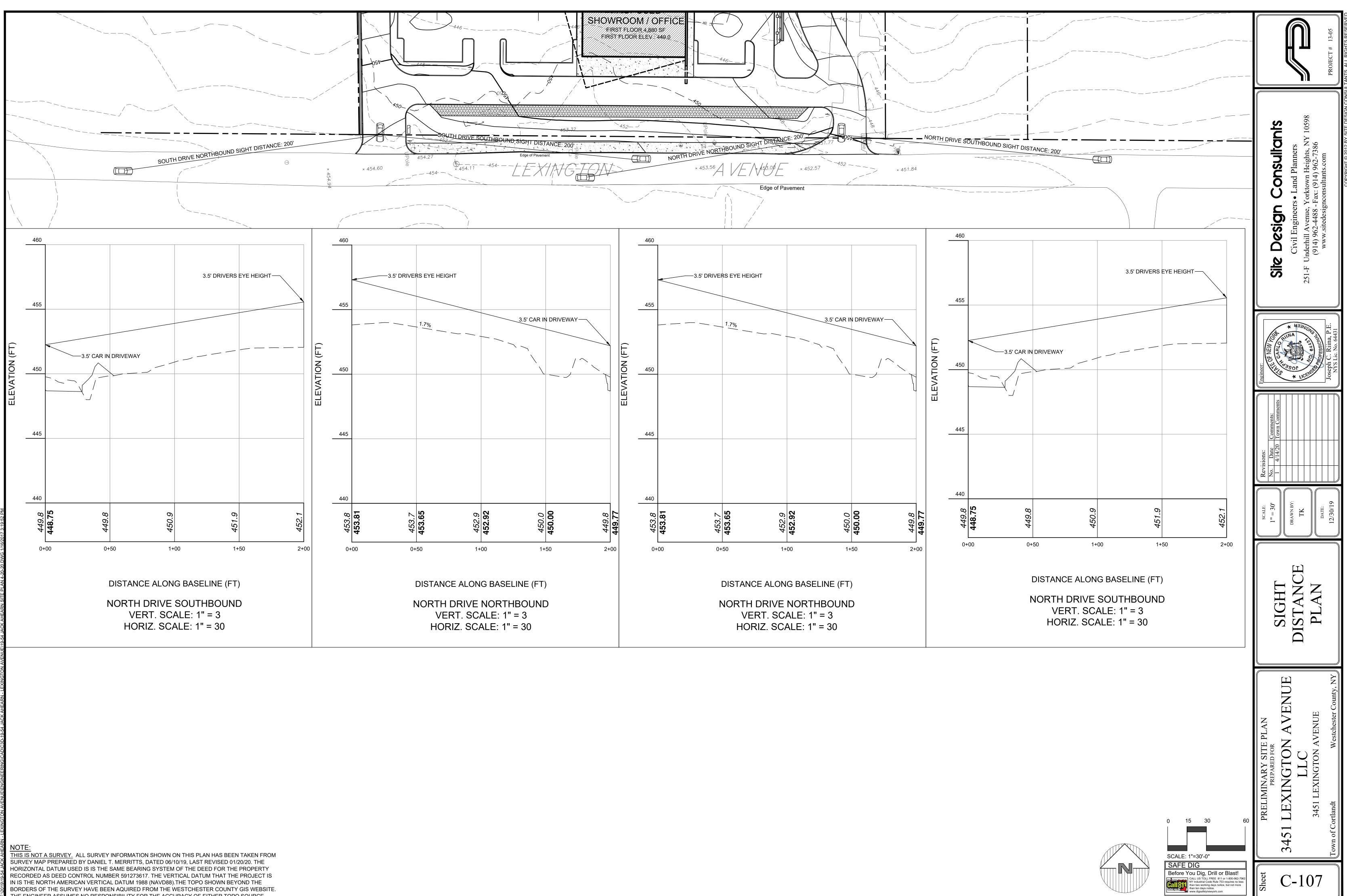
Elev. Of Avg. Roof Hgt. **Building Height** 

Tax Lot 30 N/F Hyman Mendelowitz

NOTE: THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DANIEL T. MERRITTS, DATED 06/10/19, LAST REVISED 01/20/20. THE HORIZONTAL DATUM USED IS IS THE SAME BEARING SYSTEM OF THE DEED FOR THE PROPERTY RECORDED AS DEED CONTROL NUMBER 591273617. THE VERTICAL DATUM THAT THE PROJECT IS IN IS THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88). THE TOPO SHOWN BEYOND THE BORDERS OF THE SURVEY HAVE BEEN AQUIRED FROM THE WESTCHESTER COUNTY GIS WEBSITE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EITHER TOPO SOURCE.

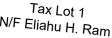
RIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW

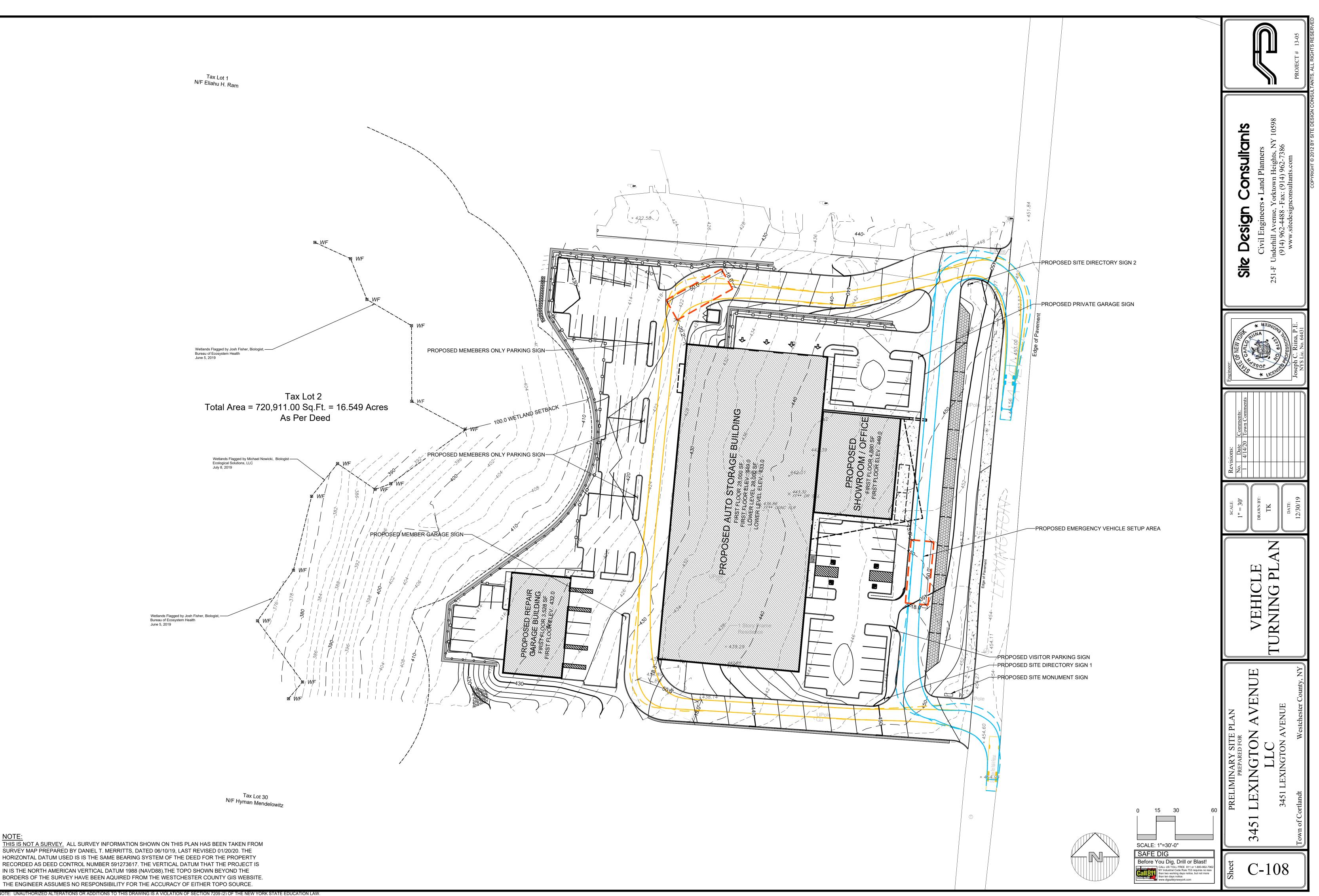




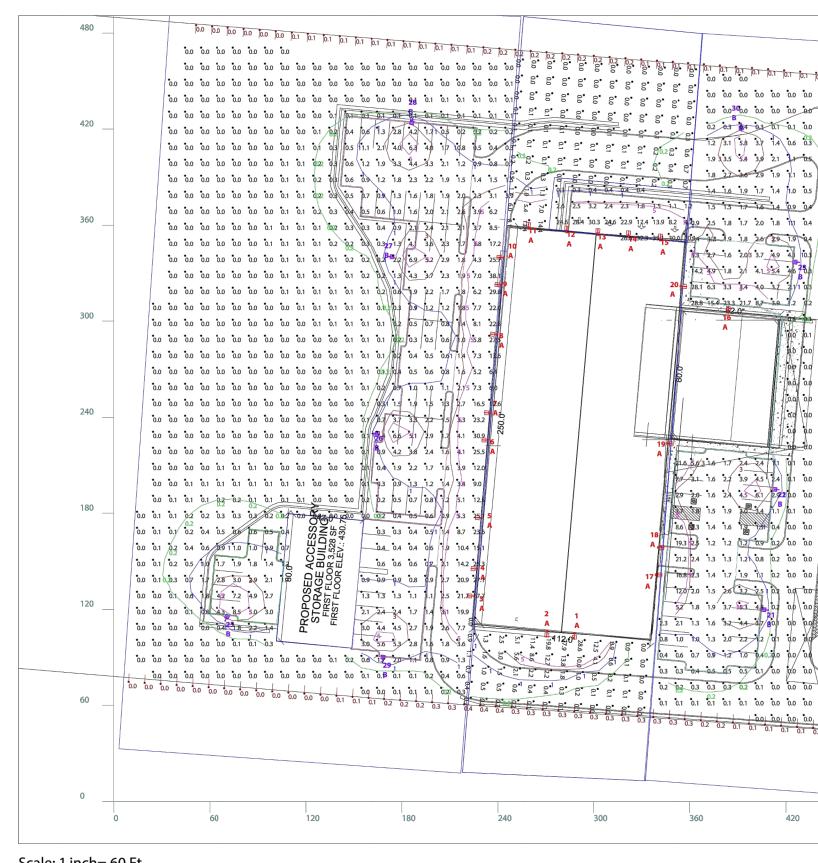
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EITHER TOPO SOURCE.

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		480 0.0 0.0 0.0 0.0 0.0 0.0 0.1 0.1 0.1 0.1	0.1 10.1 10.1 10.1 10.1 10.2 10.2 10.2 1			WPLED2T78		
$ \frac{1}{1} = 1$		420 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	6 13 28 42 11 05 02 02 02 02 02 02 02 02 02 02 02 02 02	6         6         8         0.2         0.3         0.4         0.3         0.1         0.0         0.0         0.0           0         0.2         0.3         0.4         0.3         0.1         0.0         0.0         0.0           0         0.2         0.3         0.1         0.4         0.6         0.3         0.1         0.0           0         0.2         0.3         0.1         0.4         0.6         0.3         0.1         0.0           0         0.3         0.1         0.4         0.6         0.3         0.1         0.0           0         0.3         0.3         0.3         0.1         0.0				Prepared By: Date:
		360	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	$ \begin{array}{cccccccccccccccccccccccccccccccccccc$	Color: Bronze	Weight: 34.8 lbs	Type:         Constant Current         Watts:         78W           120V:         0.66A         Color Temp:         5000k           208V:         0.41A         Color Accuracy:         71 CR           240V:         0.35A         L70 Lifespan:         10000           277V:         0.30A         Lumens:         9552           Input Watts:         78W         Efficacy:         123 Lifespanic
		0.0       0	1 0.1 02 0.4 0.5 0.61 14 7.3 13.5 1 0.2 0.4 0.5 0.6 08 1.6 5.2 6 1 0.2 0.4 0.5 0.6 08 1.6 5.2 6 1 0.4 0.7 1.0 1.1 2.75 7.3 60 1 0.31 1.5 1.9 1.5 1.3 2.7 16.5 12.6 1 0.31 1.5 1.9 1.5 1.3 2.7 16.5 12.6 1 0.31 3.3 2.2 5 3.3 2.3.2 $\mathbb{A}_{\mathbf{D}}^{\mathbf{D}}$	b ao ao da		Listings UL Listing:	IP Rating:	Specification Grade Optics:
		$180 \qquad \qquad$	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	19         0         00 </td <td></td> <td>DLC Listed:This product is on the Design Lights Consortium (DLC Qualified Products List and is eligible for rebates from DLC Member Utilities.DLC Product Code: P000017AGIESNA LM-79 &amp; IESNA LM-80 Testing:RAB LED luminaires and LED components have bee tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.</td> <td>Ambient Temperature:         C)       SuitableFor use in 40°C (104°F) at a straig for the straig for the</td> <td>ramps and entrance roadways, bike paths and long and narrow lighting applications. This type meant for lighting larger areas and usually is lo near the roadside. This type of lighting is como found on smaller side streets or jogging paths. BUG Rating: B1 U0 G2 Electrical Driver:</td>		DLC Listed:This product is on the Design Lights Consortium (DLC Qualified Products List and is eligible for rebates from DLC Member Utilities.DLC Product Code: P000017AGIESNA LM-79 & IESNA LM-80 Testing:RAB LED luminaires and LED components have bee tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.	Ambient Temperature:         C)       SuitableFor use in 40°C (104°F) at a straig for the	ramps and entrance roadways, bike paths and long and narrow lighting applications. This type meant for lighting larger areas and usually is lo near the roadside. This type of lighting is como found on smaller side streets or jogging paths. BUG Rating: B1 U0 G2 Electrical Driver:
			$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	A 120/20 1.5 28 32 25 02 00 00 00 00 52 1.8 1.9 37 53 4 02 00 00 00 00 13 21 1.3 1.6 32 4 37 60 00 00 00 00 00 08 10 to 1.3 20 22 2 2 01 00 00 00 00		The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire LED Characteristics Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations	<ul> <li>Gaskets:</li> <li>High temperature silicone gaskets</li> <li>Finish:</li> <li>Formulated for high-durability and</li> <li>Green Technology:</li> <li>Mercury and UV-free. RoHS comp</li> </ul>	60Hz, 1.1A, Power Factor 99% THD: s 5.0% at 120V, 12.3% at 277V Surge Protection: 6kV Other pliant components.
L     B <td></td> <td></td> <td>a ou of of of of or or of or of or of or of of</td> <td><math display="block">\begin{array}{c ccccccccccccccccccccccccccccccccccc</math></td> <td></td> <td>Six (6) multi-chip, 13W, high-output, long-life LEDs <b>Color Consistency:</b> 3-step MacAdam Ellipse binning to achieve consister fixture-to-fixture color <b>Color Stability:</b> LED color temperature is warrantied to shift no more</td> <td>Polyester powder coat finish formuse of VOCs or toxic heavy metal For use on LEED Buildings: IDA Dark Sky Approval means that used to achieve LEED Credits for Reduction</td> <td>mulated without the       Warranty:         Mulated without the       RAB warrants that our LED products will be free defects in materials and workmanship for a perfive (5) years from the date of delivery to the experimentation including coverage of light output, color stabilities performance and fixture finish. RAB's warranty subject to all terms and conditions found at</td>			a ou of of of of or or of or of or of or of	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$		Six (6) multi-chip, 13W, high-output, long-life LEDs <b>Color Consistency:</b> 3-step MacAdam Ellipse binning to achieve consister fixture-to-fixture color <b>Color Stability:</b> LED color temperature is warrantied to shift no more	Polyester powder coat finish formuse of VOCs or toxic heavy metal For use on LEED Buildings: IDA Dark Sky Approval means that used to achieve LEED Credits for Reduction	mulated without the       Warranty:         Mulated without the       RAB warrants that our LED products will be free defects in materials and workmanship for a perfive (5) years from the date of delivery to the experimentation including coverage of light output, color stabilities performance and fixture finish. RAB's warranty subject to all terms and conditions found at
Norm	Scale: 1	1 inch= 60 Ft.	180 240 300	360 420	480	<b>Color Uniformity:</b> RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of		
Store jee     IIII IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII	Damin Sales 28 Brunswick Ave Edison, NJ 08817 • rablighting.com	3451 Lexington Ave Cortlandt, NY Lighting Layout Version B	Date:4/15/2020         CASE # : 00374415           Filename: 3451 Lexington Ave Layout 00374415 B.AGI	prediction of lighting system performance based upo provided by others have not been field verified by RA that design parameters and other information be field RAB neither warranties, either implied or stated with n by the Lighting Design. RAB neither warranties, either intent as compliant with any applicable regulatory co The Lighting design is issued, in whole or in part, as ac	design parameters and information supplied by others. These design parameters and information and therefore actual measured r esults may vary from the actual field conditions. RAB recommends verified to reduce variation. gard to actual measured light levels or energy consumption levels as compared to those illustrated mplied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design e requirements with the exception of those specifically stated on drawings created and submitted by RAB	Need help? Tech help line: <b>(888) RAB-1000</b> Email: sale		
orth     Illuminance     Fc     0.10     0.2     0.0     N.A.     N.A.     Readings takes at 5° 0° AG     10     N.A.     Vert-PergCCW       op     Illuminance     Fc     0.16     0.4     0.0     N.A.     N.A.     Vert-PergCCW       op     Illuminance     Fc     1.33     3.3     3.33     3.733     117.00     Readings taken at 5°0° AG     10     N.A.     Vert-PergCCW       op     Illuminance     Fc     1.33     3.51     0.33     3.733     117.00     Readings taken at 0°0° AGG     10     10     Nomal       Parking     Illuminance     Fc     3.65     0.49     9.33     58.25     Readings taken at 0°0° AFG     0     0     Nomal       Na     Vert PergCW     Na     Na     Na     Na     Na     Vert PergCW       Na     Na     Readings taken at 0°0° AFG     0     0     0     Nomal       Na       Na     Na     Na     Na     Na     Na     Na     Na     Na     Na     Na     Na       Na     Na     Na     Na     Na     Na     Na     Na     N	Storage BldgIlluminanceFcSiteIlluminanceFc	1.42         38.1         0.0         N.A.         N.A.           1.47         28.8         0.0         N.A.         N.A.	Readings taken at 0'-0" AFG10Readings taken at 0'-0" AFG10	10Horizontal10Horizontal		ALED4T78SFN/PCS		Pa
Illuminance         Fc         1.77         6.9         0.2         8.85         3.45.0         Readingstalen at 0-0° AFG         Image: Control of the	rth Illuminance Fc uth Illuminance Fc	0.10         0.2         0.0         N.A.         N.A.           0.16         0.4         0.0         N.A.         N.A.           11.38         35.1         0.3         37.93         117.0	Readings taken at 5'-0" AFG10Readings taken at 5'-0" AFG1000Readings taken on Wall10	N.A.Vert-PerpCCWN.A.Vert-PerpCCW				
NTES	Parking Illuminance Fc ing Illuminance Fc	1.77         6.9         0.2         8.85         34.50           3.21         8.5         0.9         3.57         9.44	Readings taken at 0'-0" AFG       Readings taken at 0'-0" AFG	10 Normal				Prepared By: Date:
X         Y         MTG HT         Orient         Tile           287.908         102.444         0.616         270         0           270.679         103.813         0.697         255.801         0           221.983         128.504         8.45         176.295         0           224.148         145.495         8.45         176.295         0           226.837         177.367         8.45         176.295         0           230.878         225.93         8.45         176.295         0           232.455         24.92         -8.45         176.295         0           232.475         24.92         -8.45         176.295         0           232.475         24.92         -8.45         176.295         0           232.475         24.92         -8.45         176.295         0           232.475         24.92         -8.45         176.295         0           120V Swivel Photocell Included. Photoce	TagLabelArrangemAWPLED2T78SINGLEBALED4T78SFN-PCSSINGLE	from this layout must be forwarded to the Local Rep A nent LLF Description 1.000 Type II Wall Mount	BUG Rating A B1-U0-G2 B	<b>Qty</b> 20				Type:         Constant Current         Watts:         78W           120V:         0.66A         Color Temp:         4000K (           208V:         N/A         Color Accuracy:         72 CRI           240V:         N/A         L70 Lifespan:         100000           277V:         N/A         Lumens:         9804           Input Watts:         76W         Efficacy:         129 LP
224.148       145.495       -8.45       176.295       0         226.837       177.367       -8.45       176.295       0         230.878       225.93       -8.45       176.295       0       0         230.878       225.93       -8.45       176.295       0       0         120V Swivel Photocell Included. Photoce	287.908102.4440.616270270.679103.8130.697265.80	0 01 0					Weight: 32.0 lbs	
236.321 292.015 -8.45 176.295 0 LED color temperature is warrantied to shift no more Slipfitter with 180° pivot available for mounting	224.148145.495-8.45176.29226.837177.367-8.45176.29230.878225.93-8.45176.29232.465242.92-8.45176.29	95     0       95     0       95     0       95     0			* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation	Electrical         Photocell:         120V Swivel Photocell Included. Photocell is only compatible with 120V.	3-step MacAdam Ellipse binning t fixture-to-fixture color Color Stability:	to achieve consistent Die cast aluminum housing, lens frame and marm <b>Mounting:</b>

480	0.0 00 00 00 00 00 00 00 00 00 00 00 00		NPLED2T78	RAB
				Project: Type:
420	00 00 00 00 00 00 00 00 00 00 00 00 00			Prepared By: Date:
360 300	00 00 00 00 00 00 00 00 01 01 02 03 05 07 00 13 16 18 19 20 23 31 39 61 01 03 04 04 04 04 04 04 04 04 04 04 04 04 04	$ \begin{array}{c} \begin{array}{c} \begin{array}{c} \begin{array}{c} \begin{array}{c} \begin{array}{c} \begin{array}{c} \begin{array}{c}$	Color: Bronze	Driver InfoLED InfoType:Constant CurrentWatts:78W120V:0.66AColor Temp:5000K (Cool)208V:0.41AColor Accuracy:71 CRI240V:0.35AL70 Lifespan:100000277V:0.30ALumens:9552Input Watts:78WEfficacy:123 LPWEfficiency:N/AN/A
240 180 120 0 5cale: 1 inch:	be to be tob		Construction         Listings       Construction         UL Listing:       II Rating:         Suitable for wet locations as a downlight       IP Rating:         DLC Listed:       Ingress Protection rating of IP66 for a         This product is on the Design Lights Consortium (DLC)       Guidhled Products List and is eligible for rebates from DLC Member Utilities.         DLC Product Code: P000017AG       SuitableFor use in 40°C (104°F) and Cold Weather Starting:         RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.       Dark Sky Approved:         The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire       Die cast aluminum housing, lens frar arm         LED Characteristics       Secular vacuum-metallized polycard         Lifespan:       Six (6) multi-chip, 13W, high-output, long-life LEDs         Six (6) multi-chip, 13W, high-output, long-life LEDs       Mercury and UV-free. RoHS complia Polyester powder coat finish formula use of VOCs or toxic heavy metals.         For use on LEED Buildings:       ID Aark Sky Approval means that th that 200K in CCT over a 5 year period         Color Uniformity:       RAB's range of CCT (Correlated Color Temperature)         Follows the guidelines of the American National Standard for Specifications for the Chromaticity of       Image: Standard for Specifications for the Chromaticity of	bient temperaturesramps and entrance roadways, bike paths and other long and narrow lighting applications. This type is meant for lighting larger areas and usually is located near the roadside. This type of lighting is commonly found on smaller side streets or jogging paths.P°C (-40°F)BUG Rating: B1 U0 G2me and mountingB1 U0 G2telectricalDriver: Constant Current, Class 2, 2000mA, 100-277V, 50- 60Hz, 1.1A, Power Factor 99%THD: 5.0% at 120V, 12.3% at 277Vsurge Protection: 6kVong lasting colorant components. ated without thethis fixture can bethis fixture can be
Prepared For: Damin Sales 28 Brunswick Ave Edison, NJ 08817 Filename: C:\Users\anna.murphy\Desktop\Temp F Calculation Summary	Job Name:       3451 Lexington Ave         Cortlandt, NY       Date:4/15/2020       CASE # : 00374415         Lighting Layout       Filename: 3451 Lexington Ave Layout 00374415 B.AGI       RAB neither warranties, either implied or stated with removed on the stated withe removed on the stated with removed on the stated with	Visual Simulation ("Lighting Design") provided by the RAB Lighting Inc. ("RAB") represent an anticipated design parameters and information supplied by others. These design parameters and information and therefore actual measured r esults may vary from the actual field conditions. RAB recommends verified to reduce variation. and to actual measured light levels or energy consumption levels as compared to those illustrated applied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design requirements with the exception of those specifically stated on drawings created and submitted by RAB. isory documents for informational purposes and is not intended for construction nor as being part of a	Solid State Lighting (SSL) Products, ANSI C78.377- 2017. leed help? Tech help line: (888) RAB-1000 Email: sales@rablighting.com Website: www.rablig topyright © 2018 RAB Lighting Inc. All Rights Reserved Note: Specifications are subject to cha	
Label         CalcType         Units           CalcPts - Behind Storage Bldg         Illuminance         Fc           CalaPta         France of Cita         Illuminance         Fc	AvgMaxMinAvg/MinMax/MinDescriptionPtSpcLrPtSpcTbMeter Type1.4238.10.0N.A.N.A.Readings taken at 0'-0" AFG1010Horizontal1.4728.80.0N.A.N.A.Readings taken at 0'-0" AFG1010Horizontal			Page 1 of 2
CalcPts - Front of SiteIlluminanceFcProperty Line - FrontIlluminanceFcProperty Line - NorthIlluminanceFc	1.47         28.8         0.0         N.A.         Readings taken at 0'-0" AFG         10         10         Horizontal           0.10         0.2         0.0         N.A.         N.A.         Readings taken at 5'-0" AFG         10         N.A.         Vert-PerpCCW           0.10         0.2         0.0         N.A.         N.A.         Readings taken at 5'-0" AFG         10         N.A.         Vert-PerpCCW		ALED4T78SFN/PCS	
Property Line - SouthIlluminanceFcRetaining Wall_TopIlluminanceFcSlope of Parking Lots_GradeIlluminanceFcBack of Building ParkingIlluminanceFcBack Storage ParkingIlluminanceFc	0.16         0.4         0.0         N.A.         Readings taken at 5'-0" AFG         10         N.A.         Vert-PerpCCW           11.38         35.1         0.3         37.93         117.00         Readings taken on Wall         10         10         Normal           1.55         28.6         0.0         N.A.         N.A.         Readings taken at 0'-0" AFG         10         10         Normal           1.77         6.9         0.2         8.85         34.50         Readings taken at 0'-0" AFG         Image: Comparison of the comparison of t			Project:     Type:       Prepared By:     Date:
Front of Building Parking       Illuminance       Fc         Luminaire Schedule       All quotes/orders generated from th         Symbol       Qty       Tag       Label       Arrangement         Image: Product of the symbol       Qty       Tag       Label       Arrangement         Image: Product of the symbol       Qty       Tag       Label       Arrangement         Image: Product of the symbol       Qty       Tag       Label       SINGLE         Image: Product of the symbol       Qty       Tag       ALED4T78SFN-PCS       SINGLE         Expanded Luminaire Location Summary       MTG HT       Orient       Till	3.65     23.3     0.4     9.13     58.25     Readings taken at 0'-0" AFG       Lis layout must be forwarded to the Local Rep Agency       LLF     Description     BUG Rating       1.000     Type II Wall Mount     B1-U0-G2       1.000     Type IV Slipfitter Mount     B1-U0-G2		Color: Bronze Weight: 32.0 lbs	Driver InfoLED InfoType:Constant CurrentWatts:78W120V:0.66AColor Temp:4000K (Neutral)208V:N/AColor Accuracy:72 CRI240V:N/AL70 Lifespan:100000277V:N/ALumens:9804Input Watts:76WEfficacy:129 LPWEfficiency:N/AL10000
1         A         287.908         102.444         0.616         270         0           2         A         270.679         103.813         0.697         265.801         0           3         A         221.983         128.504         -8.45         176.295         0           4         A         224.148         145.495         -8.45         176.295         0           5         A         226.837         177.367         -8.45         176.295         0           6         A         230.878         225.93         -8.45         176.295         0           7         A         232.465         242.92         -8.45         176.295         0           7         A         236.321         292.015         -8.45         176.295         0           8         A         236.321         292.015         -8.45         176.295         0           9         A         239.03         323.009         -8.45         176.295         0           10         A         240.187         340.054         -8.45         176.295         0           11         A         259.285         360.746         -3.34         85.		NOTES: * The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications. * Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.	Color Consistency:         Photocell:       3-step MacAdam Ellipse binning to a fixture-to-fixture color         120V Swivel Photocell Included. Photocell is only compatible with 120V.       3-step MacAdam Ellipse binning to a fixture-to-fixture color         Driver:       LED color temperature is warrantied than 200K in CCT over a 5 year period than	arm Mounting:  I to shift no more iod Slipfitter with 180° pivot available for mounting on 2 3/8" tenon IP Rating: Ior Temperature) Ingress Protection rating of IP66 for dust and water Reflector:

.umNo	Tag	X	Y	MTGH	IT Orient	Tilt
	Α	287.908	102.444	1 0.616	270	0
2	Α	270.679	103.813	3 0.697	265.801	0
3	Α	221.983	128.504	4 -8.45	176.295	0
4	Α	224.148	145.49	5 -8.45	176.295	0
5	Α	226.837	177.362	7 -8.45	176.295	0
б	Α	230.878	225.93	-8.45	176.295	0
7	Α	232.465	242.92	-8.45	176.295	0
8	Α	236.321	292.01	5 -8.45	176.295	0
9	A	239.03	323.009	9 -8.45	176.295	0
10	A	240.187	340.054	4 -8.45	176.295	0
11	A	259.285	360.746	5 -3.34	85.68	0
12	A	283.148	358.51	9.002	85.68	0
13	Α	302.54	356.929	9.002	85.68	0
14	A	321.626	355.524	9.002	85.68	0
15	Α	341.571	353.507	7 9.002	85.68	0
16	Α	384.134	308.253	8.093	85.68	0
17	Α	341.45	141.579	7.682	355.915	0
18	Α	342.726	158.649	7.682	355.915	0
19	Α	348.501	223.523	3 7.682	355.915	0
20	Α	357.177	321.79	7.682	355.915	0
21	В	407.013	119.789	9 20	173.839	10
22	В	413.8	194.973	3 20	174.663	10
23	В	426.445	336.99	20	175.87	10
25	В	70.551	114.684	1 2.976	65.71	0
26	В	163.861	230.042	2 2.976	0	10
27	В	173.016	340.43	2.976	0	10
28	В	186.375	424.993	3 2.976	259.178	10
29	В	168.135	89.309	2.976	84.059	10
30	В	392.066	421.593	3 20	270	10
Total Qua	antity: 29	Ð				
30 Total Qua	В	392.066			270	

# NOTE:

THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DANIEL T. MERRITTS, DATED 06/10/19, LAST REVISED 01/20/20. THE HORIZONTAL DATUM USED IS IS THE SAME BEARING SYSTEM OF THE DEED FOR THE PROPERTY RECORDED AS DEED CONTROL NUMBER 591273617. THE VERTICAL DATUM THAT THE PROJECT IS IN IS THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).THE TOPO SHOWN BEYOND THE BORDERS OF THE SURVEY HAVE BEEN AQUIRED FROM THE WESTCHESTER COUNTY GIS WEBSITE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EITHER TOPO SOURCE.

Filename: C:\Users\anna.murphy\Desktop\Temp Folder\3451 Lexington Ave Layout 00374415 B.AGI

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

\* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.

<sup>4</sup> Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations. \* It is the Owner's responsibility to confirm the suitability of the existing or proposed poles and bases

to support the proposed fixtures, based on the weight and EPA of the proposed fixtures and the owner's site soil conditions and wind zone. It is recommended that a professional engineer licensed to practice in the state the site is located be engaged to assist in this determination. \* The landscape material shown hereon is conceptual, and is not intended to be an accurate

representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.

\* Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the RAB lighting design model. RAB is not responsible for any inaccuracies caused by incomplete information on the part of the customer, and reserves the right to use best judgement when translating customer requests into photometric studies. \* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending apply.

The Lighting Analysis, ezLayout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by the RAB Lighting Inc. ("RAB") represent an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured r esults may vary from the actual field conditions. RAB recommends that design parameters and other information be field verified to reduce variation. RAB neither warranties, either implied or stated with regard to actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. RAB neither warranties, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design intent as compliant with any applicable regulatory code requirements with the exception of those specifically stated on drawings created and submitted by RAB.

Surge Protector: ALED78 is available with a 6kV surge protector (SP6). 2017. SP6 available . Listings

# DLC Listed:

Qualified Products List and is eligible for rebates from buildings and walls, and for illuminating the perimeter Green Technology: **DLC** Member Utilities. DLC Product Code: P0000179W

UL Listing:

uitable for wet locations as a downlight IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance

# with IESNA LM-79 and LM-80.

LED Characteristics ifespan 100,000-hour LED lifespan based on IES LM-80

results and TM-21 calculations LEDs:

Six (6) multi-chip, 13W, high-output, long-life LEDs

follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-Construction

Gaskets:

Finish:

Reduction

Specular vacuum-metallized polycarbonate

Formulated for high-durability and long lasting color

Mercury and UV-free. RoHS compliant components.

Polyester powder coat finish formulated without the

IDA Dark Sky Approval means that this fixture can be

used to achieve LEED Credits for Light Pollution

High temperature silicone gaskets

use of VOCs or toxic heavy metals.

For use on LEED Buildings:

IES Classification: The Type IV distribution (also known as a Forward This product is on the Design Lights Consortium (DLC) Throw) is especially suited for mounting on the sides of of parking areas. It produces a semiCircular distribution with essentially the same candlepower at lateral angles from 90° to 270°. Effective Projected Area:

### EPA = 2.2 Ambient Temperature:

SuitableFor use in 40°C (104°F) ambient temperatures

# Cold Weather Starting:

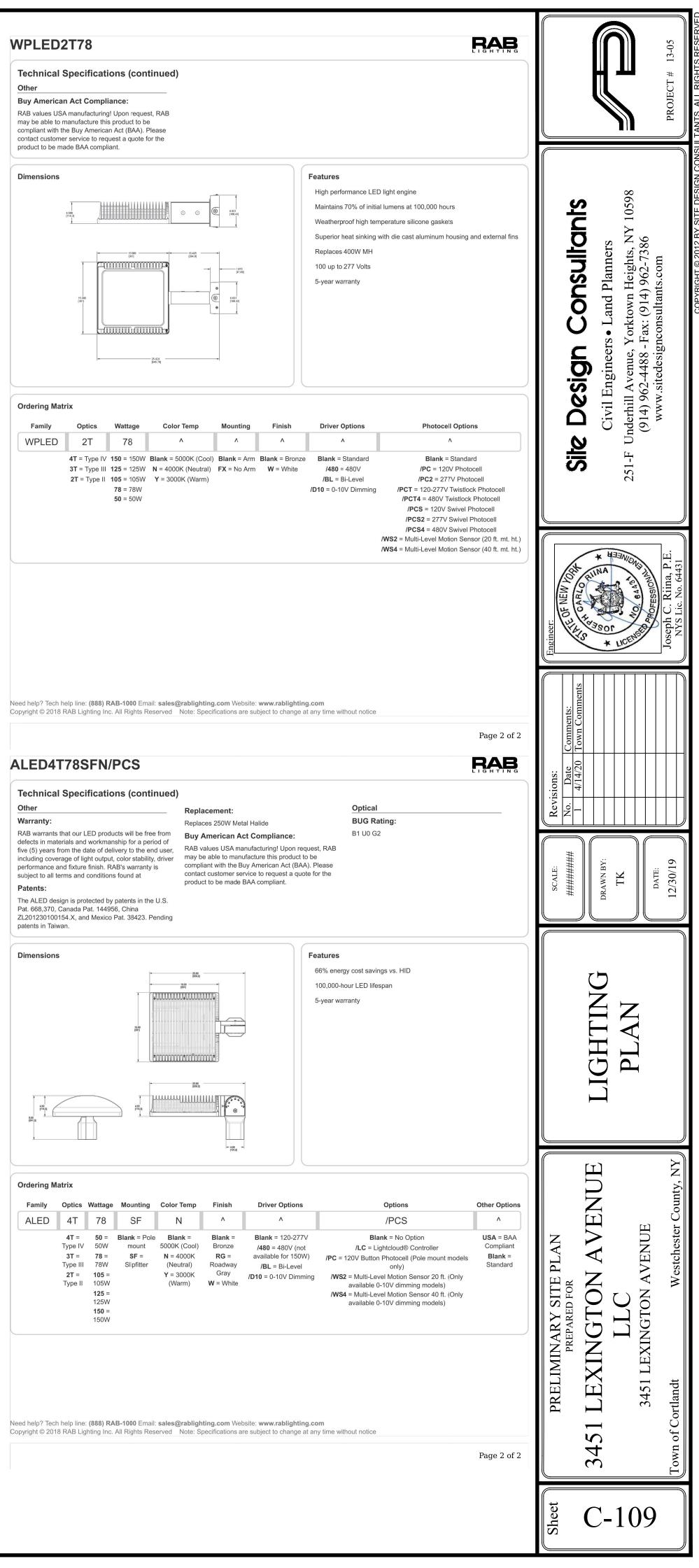
Minimum starting temperature is -40°C (-40°F) **Thermal Management:** Superior heat sinking with external Air-Flow fins

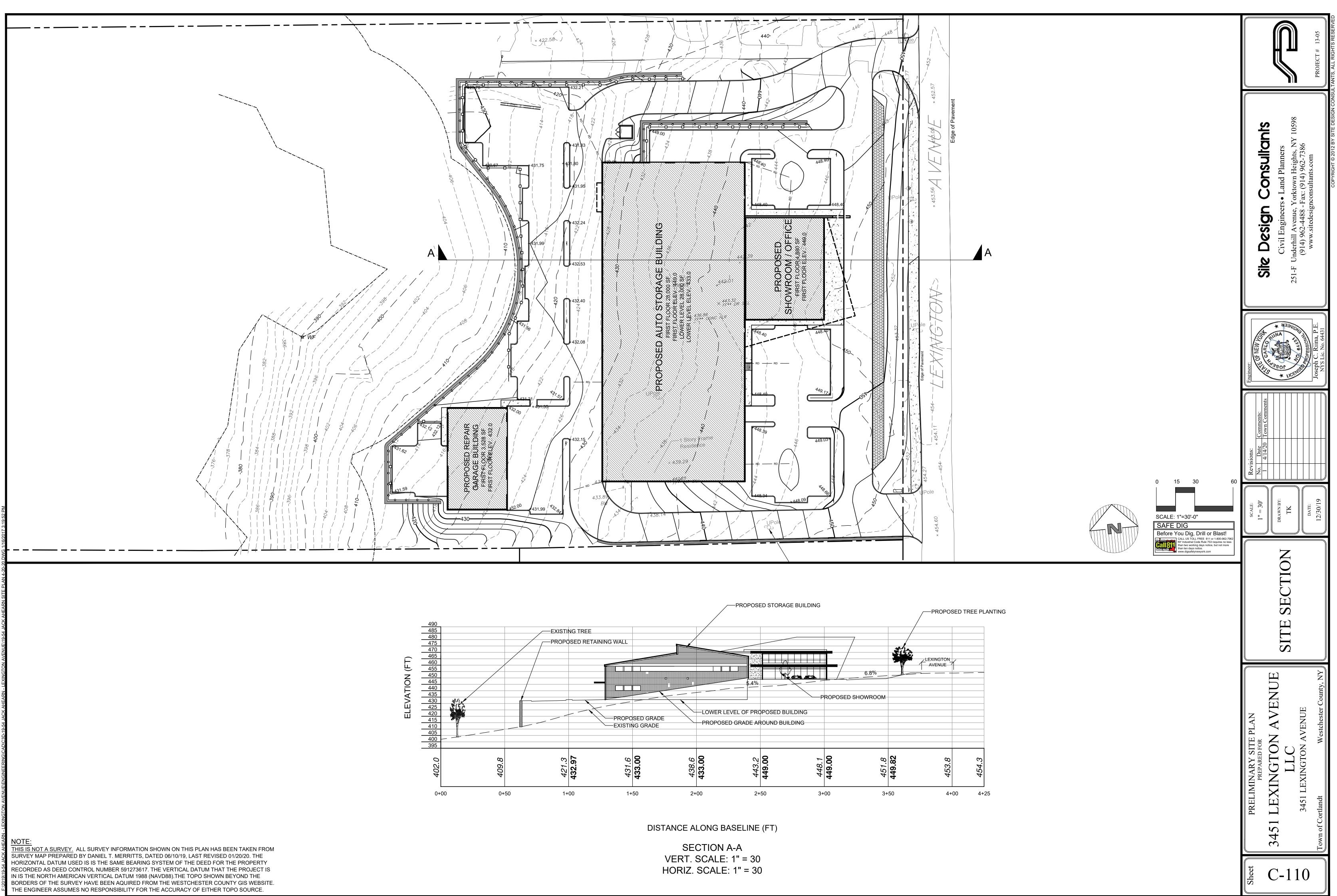
ens

Tempered glass lens

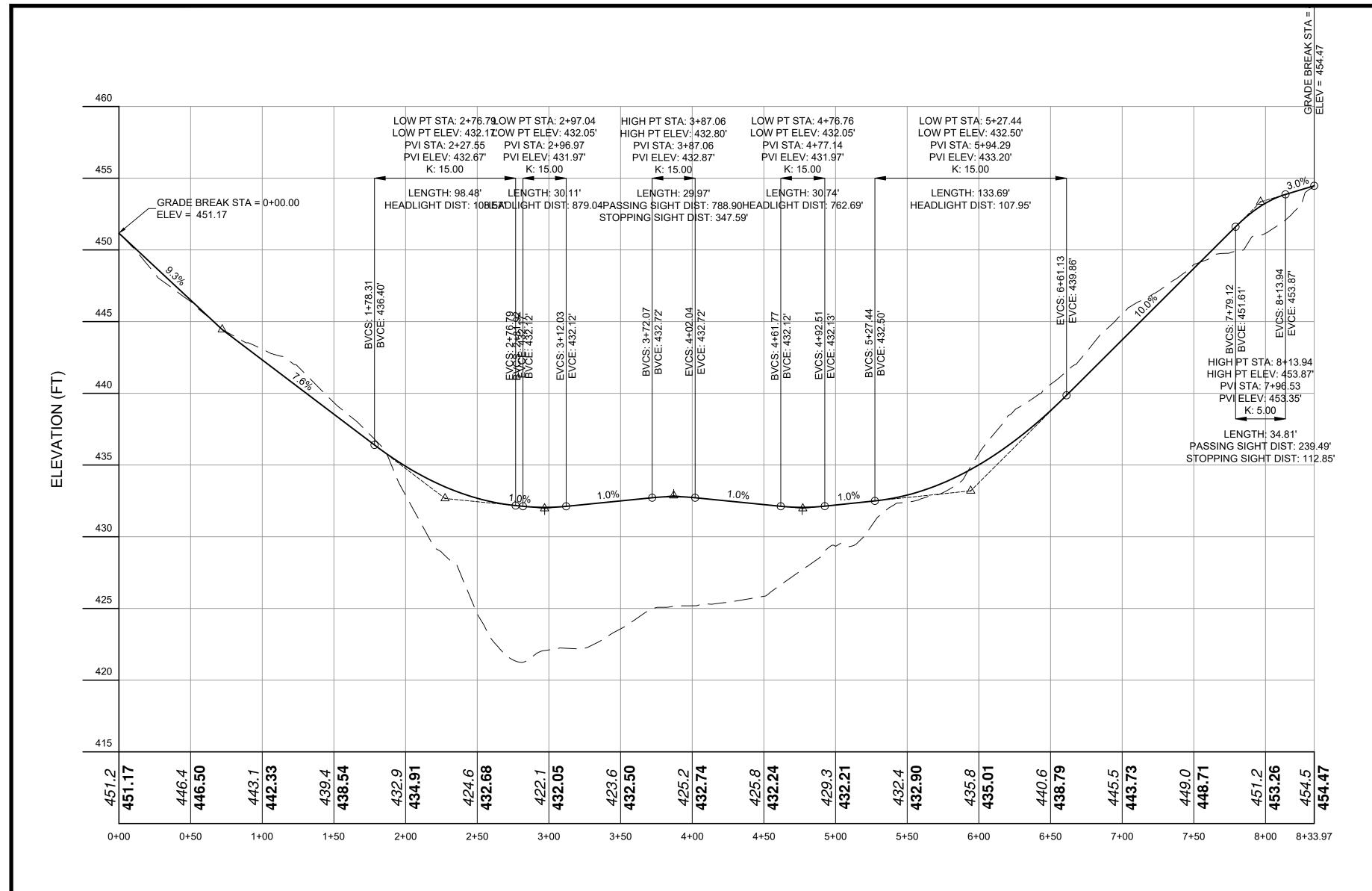
Need help? Tech help line: (888) RAB-1000 Email: sales@rablighting.com Website: www.rablighting.com Copyright © 2018 RAB Lighting Inc. All Rights Reserved Note: Specifications are subject to change at any time without notice

Page 1 of 2





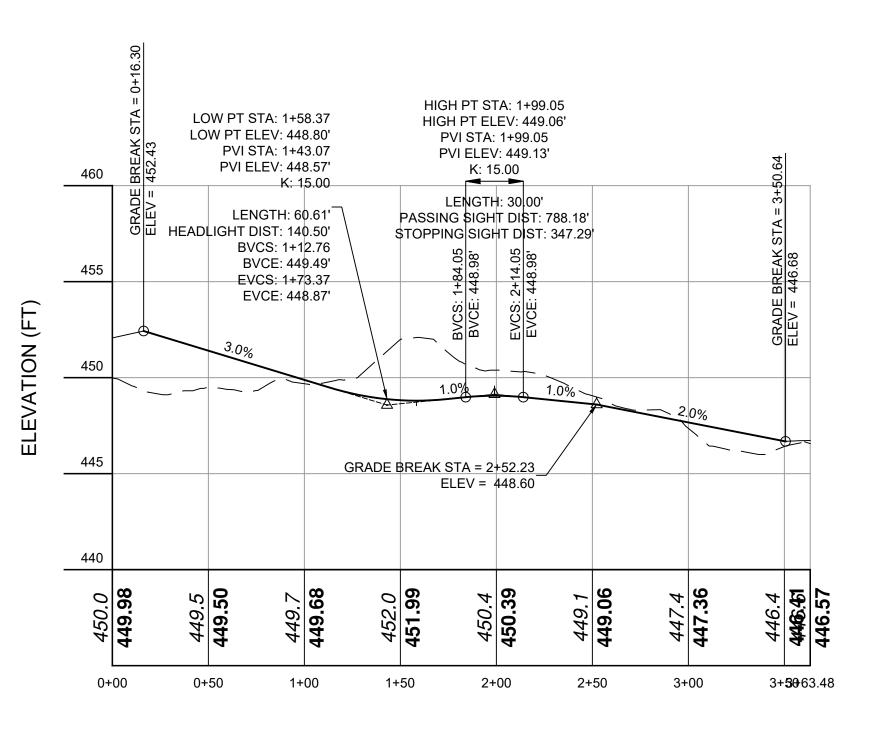
DTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW



DISTANCE ALONG BASELINE (FT)

PROPOSED MAIN DRIVE VERT. SCALE: 1" = 5 HORIZ. SCALE: 1" = 50

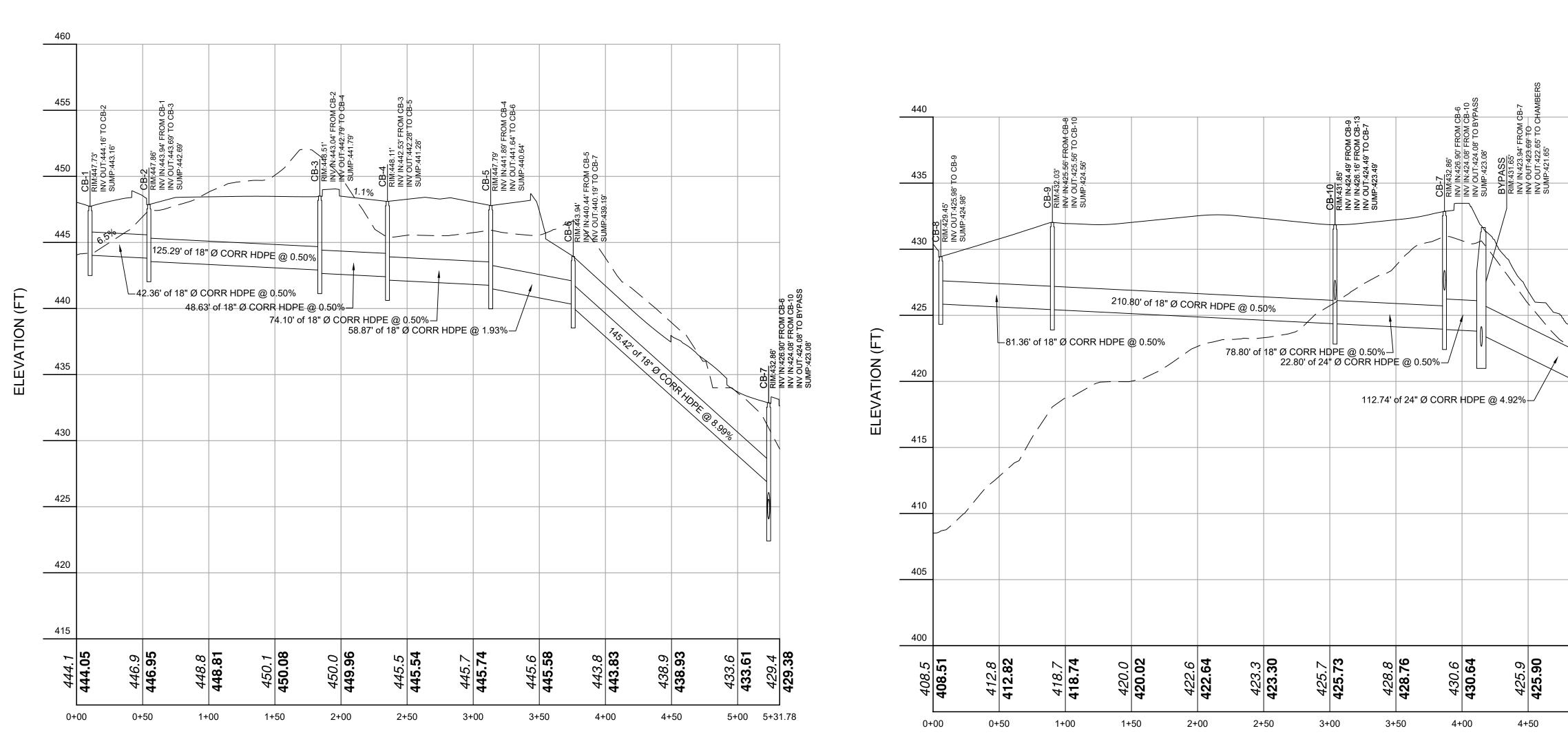
E: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW



DISTANCE ALONG BASELINE (FT)

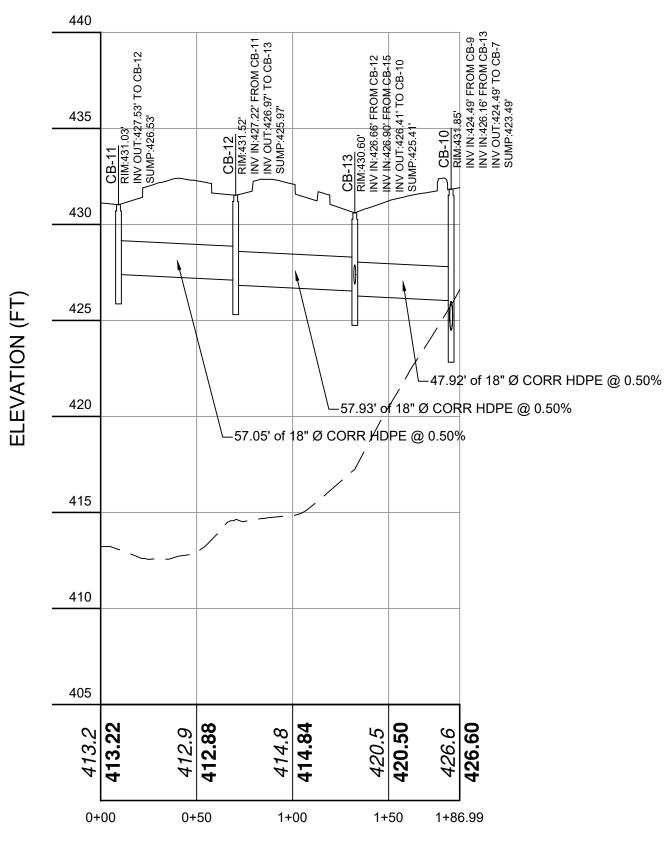
FRONT DRIVE VERT. SCALE: 1" = 5 HORIZ. SCALE: 1" = 50

	PROJECT # 13-05
	Sile Design Consultants Civil Engineers • Land Planners 251-F Underhill Avenue, Yorktown Heights, NY 10598 (914) 962-4488 • Fax: (914) 962-7386 www.sitedesignconsultants.com
	Engineer: Engineer:
	Revisions:       No.     Date       Comments:
	Scale: ####################################
	PROFILES
	PRELIMINARY SITE PLAN PREPARED FOR 3451 LEXINGTON AVENUE LLC 3451 LEXINGTON AVENUE 3451 LEXINGTON AVENUE Town of Cortlandt Westchester County, NY
SAFE DIG Before You Dig, Drill or Blast! CALL US TOLL FREE 811 or 1-800-962-7962 NY Industrial Code Rule 753 requires no less than two working days notice, but not more than ten days notice. Www.digsafelynewyork.com	Sheet Sheet C-301



DISTANCE ALONG BASELINE (FT)

CB-1 TO CB-7 VERT. SCALE: 1" = 5 HORIZ. SCALE: 1" = 50



NOTE: THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DANIEL T. MERRITTS, DATED 6/10/19, LAST REVISED 7/8/19. THE TOPO SHOWN BEYOND THE BORDERS OF THE SURVEY HAVE BEEN AQUIRED FROM THE WESTCHESTER COUNTY GIS WEBSITE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EITHER TOPO SOURCE.

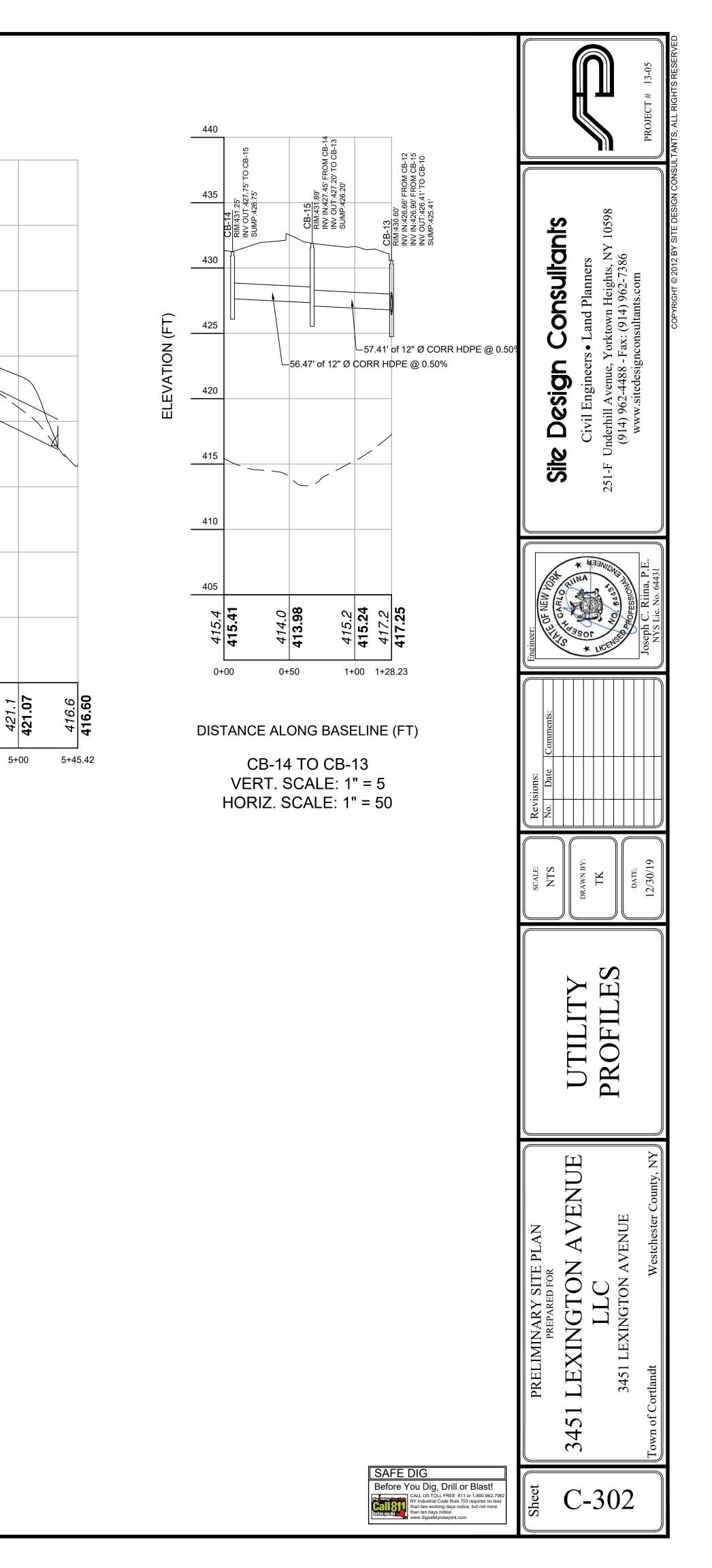
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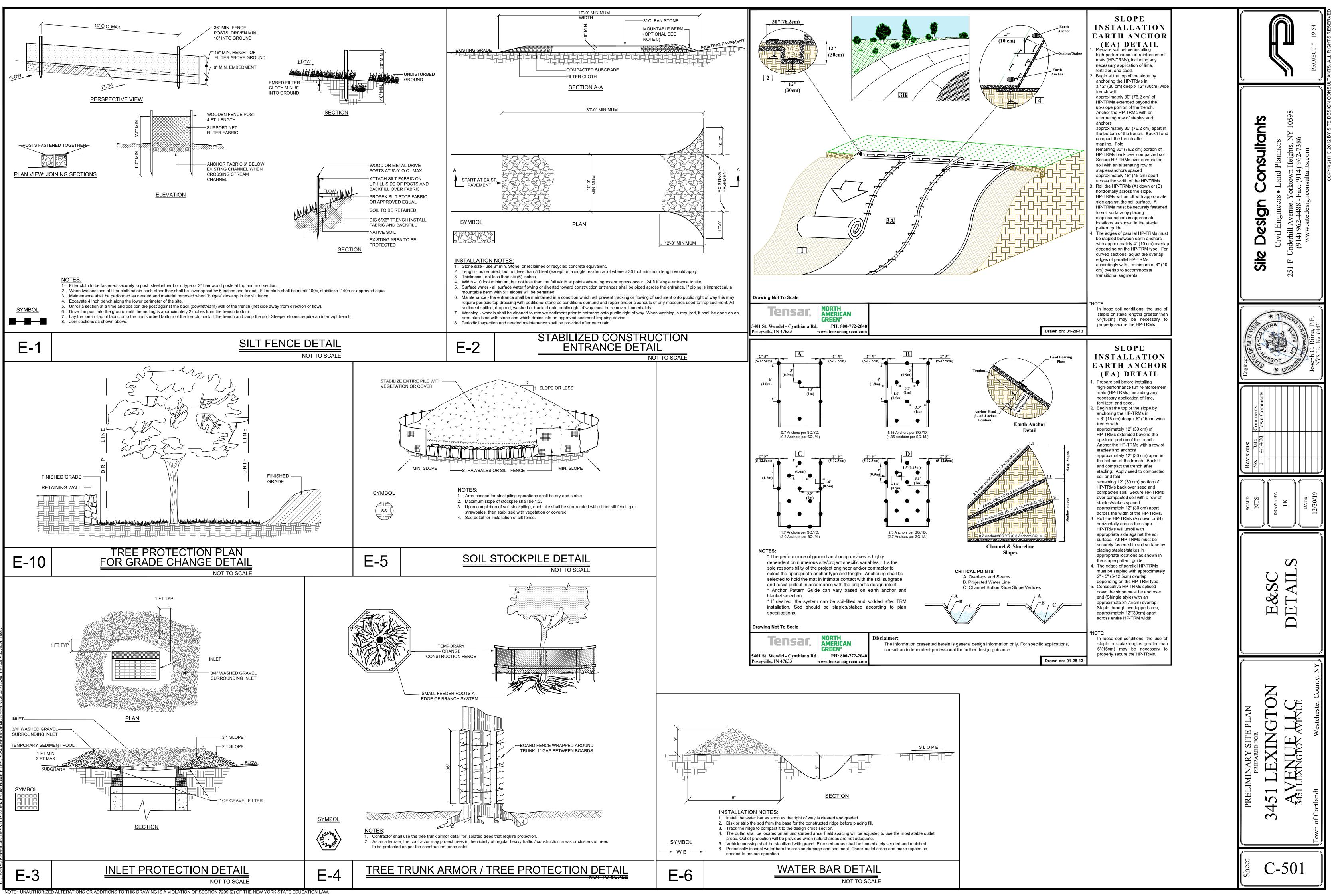
DISTANCE ALONG BASELINE (FT)

CB-8 TO OUTLET VERT. SCALE: 1" = 5 HORIZ. SCALE: 1" = 50

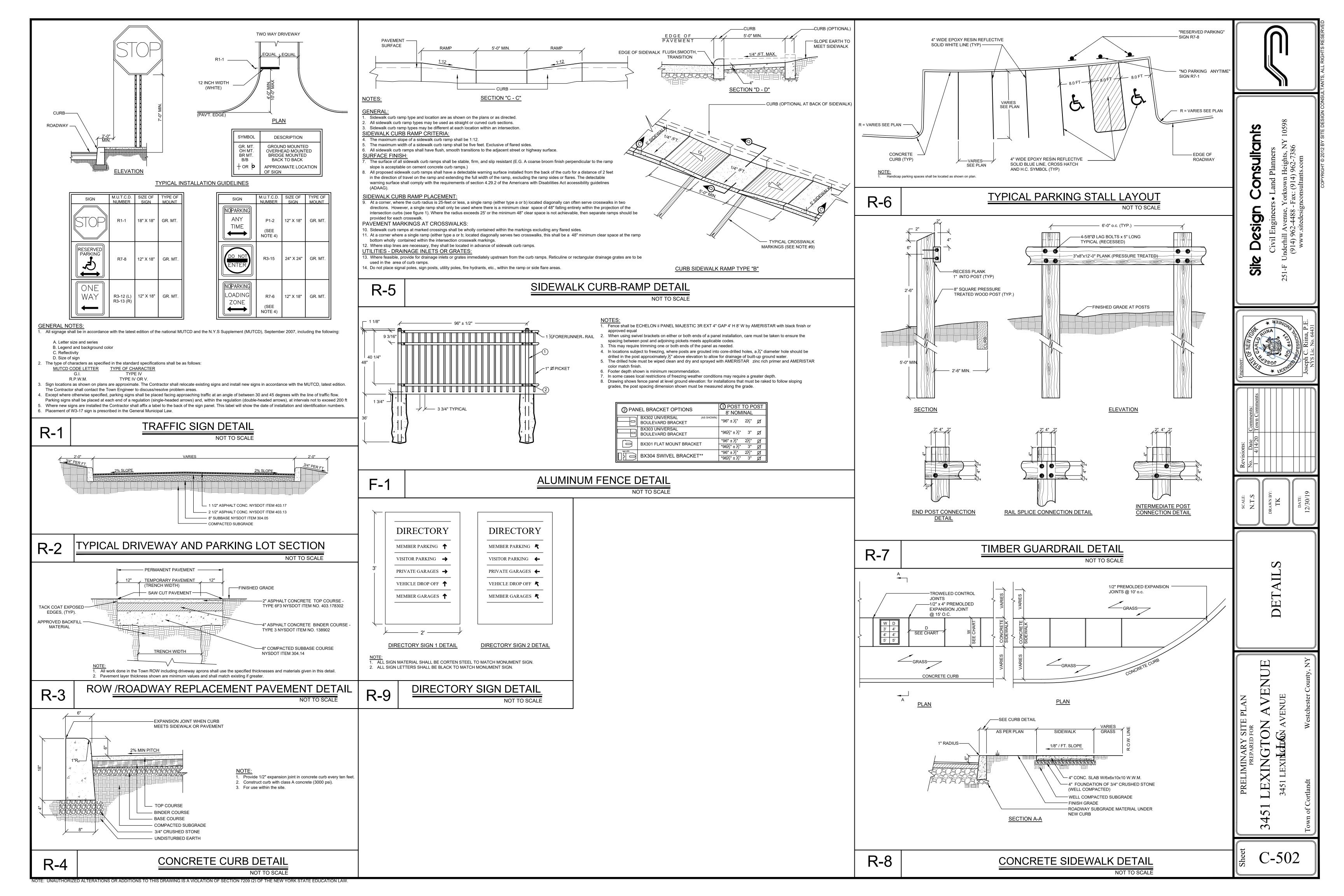
DISTANCE ALONG BASELINE (FT)

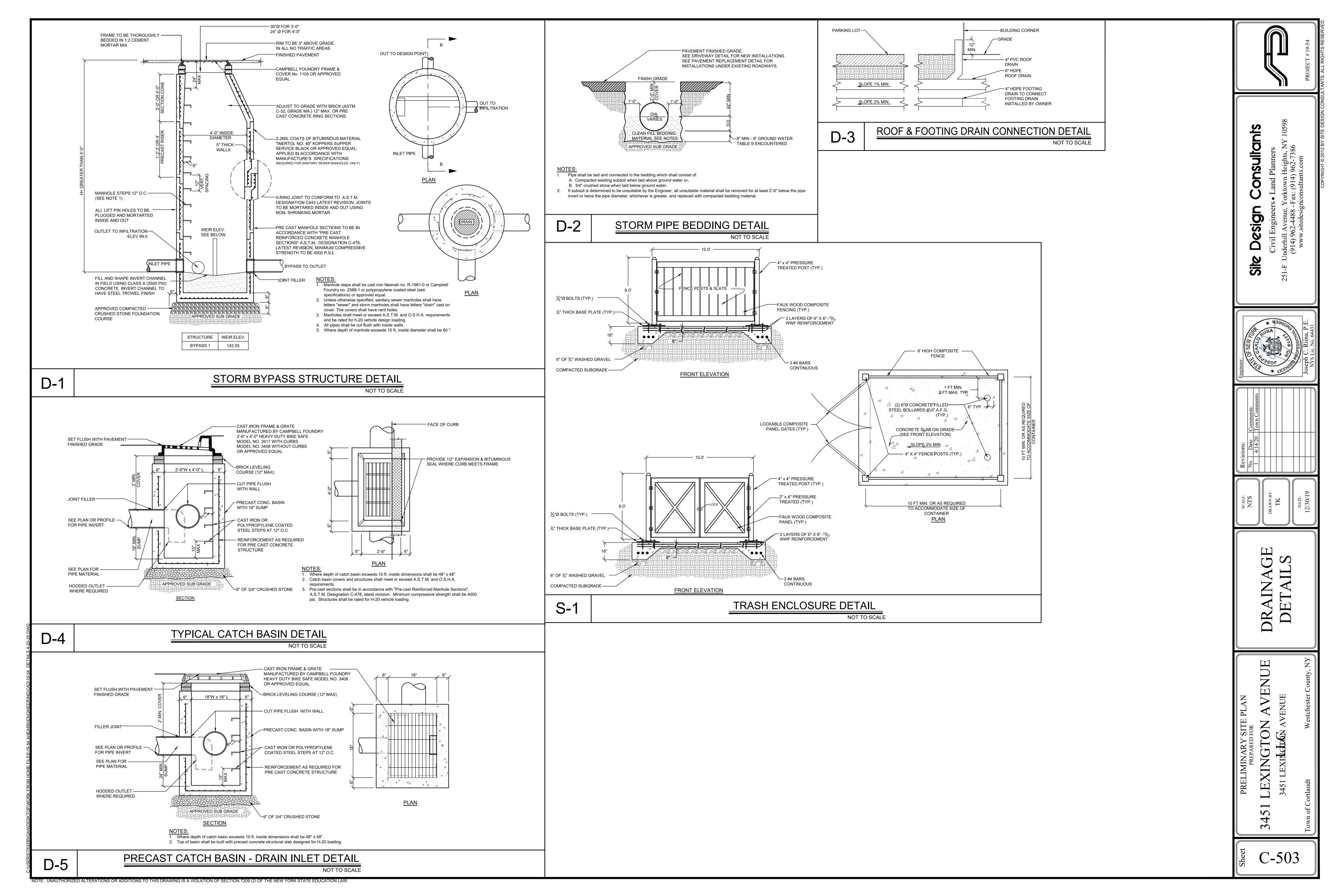
CB-11 TO CB-10 VERT. SCALE: 1" = 5 HORIZ. SCALE: 1" = 50

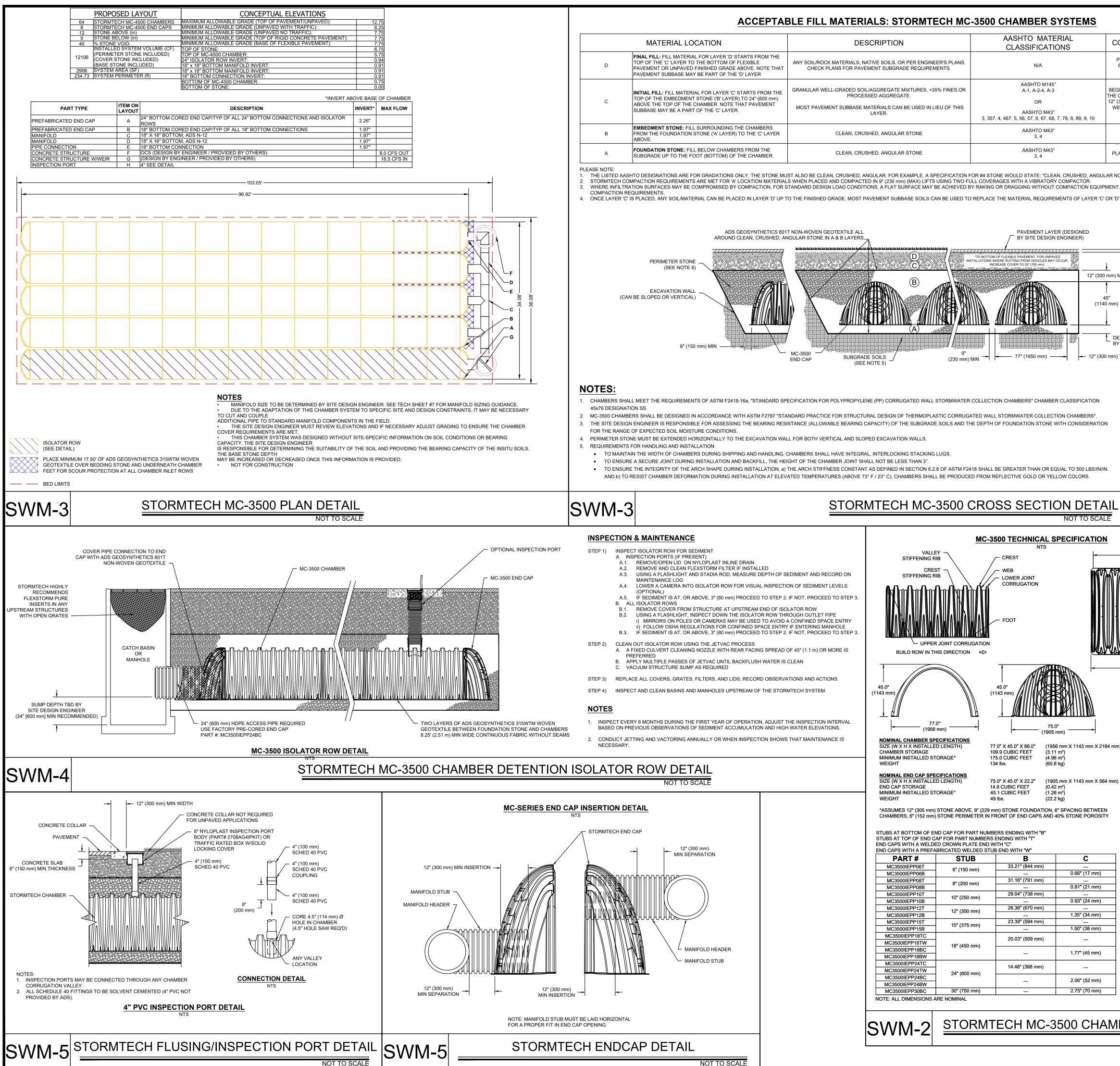




ERS\TKERRIGAN\DESKTOP\WORK FROM HOME FILES\19-54 AHEARN\ENGINEERING\CAD\19-54 DETI

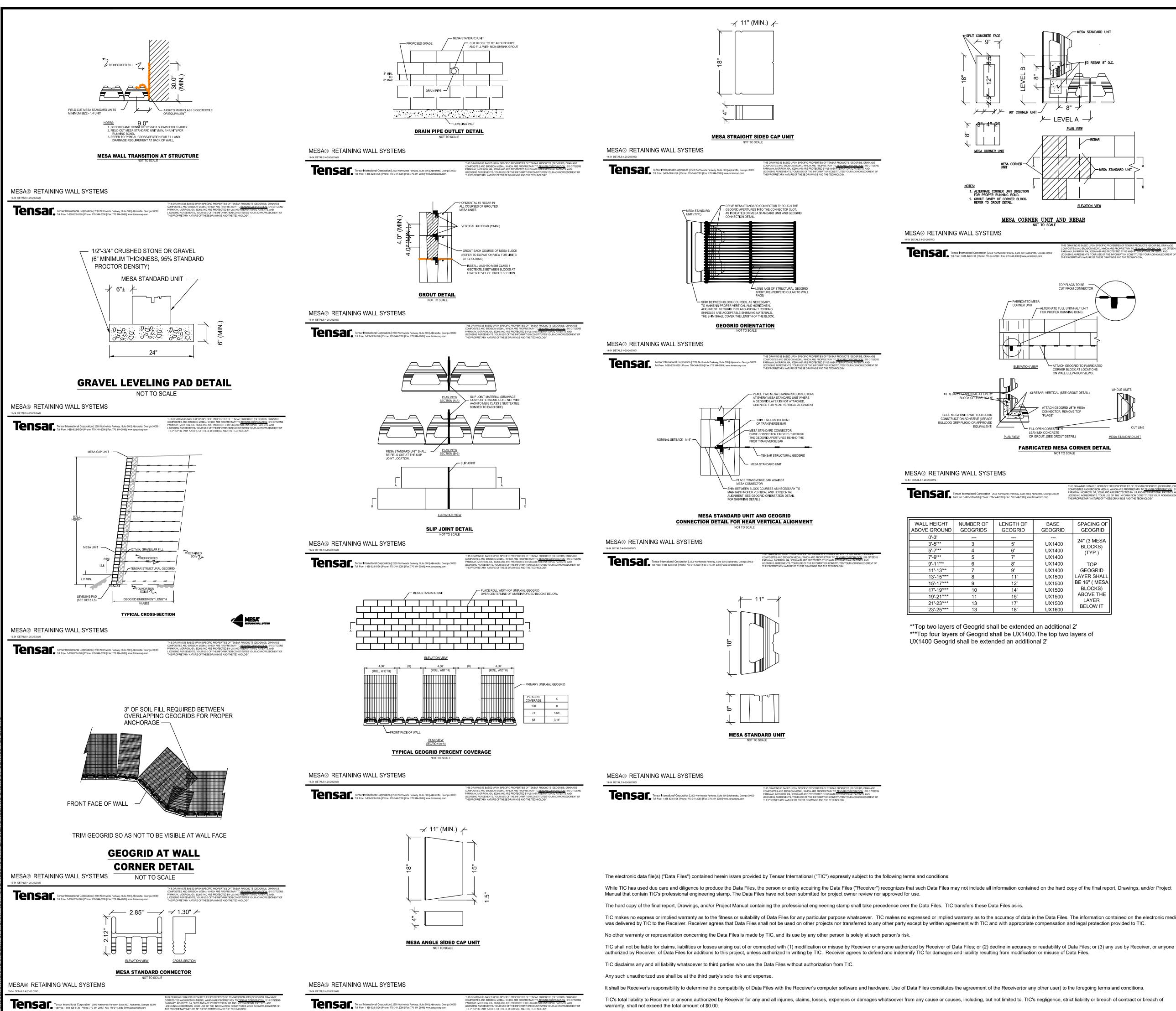






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Image: Second secon		
	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS. BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER	PROJECT # 19-54
	12° (300 mm) MAX LIFTS TO A MIN. 99% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 99% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. NO COMPACTION REQUIRED. PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. <sup>2,3</sup> AR NO. 4 (AASHTO M43) STONE". IEENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR DR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.	<b>2 Design Consultar</b> Civil Engineers • Land Planners Underhill Avenue, Yorktown Heights, NY (914) 962-4488 - Fax: (914) 962-7386 www.sitedesignconsultants.com
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ID	SPACING OF GEOGRID	
0 0 0	24" (3 MESA BLOCKS) (TYP.)	
0	ТОР	
0	GEOGRID	
0	LAYER SHALL	
0	BE 16" ( MESA	
0	BLOCKS)	
0	ABOVE THE	
0	LAYER BELOW IT	
0	BLLOWIT	

# General Notes:

- 1. ALL WORK ON THE PROJECT SHALL BE PERFORMED IN A WORKMAN LIKE MANNER AND SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INDUSTRY. THE OWNER WILL BE THE SOLE JUDGE OF THE ACCEPTABILITY OF THE WORK. MATERIALS AND WORK DEEMED UNACCEPTABLE WILL BE REMOVED AND REDONE AT THE SOLE COST AND RESPONSIBILITY OF THE CONTRACTOR. 2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT HIS WORK AND WILL BE HELD RESPONSIBLE FOR CONSEQUENTIAL DAMAGES DUE TO HIS ACTIVITIES. THE
- CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY THE WORK UNDER A SEPARATE CONTRACT WITH THE CONTRACTOR.
- 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY SHORE EXISTING UTILITIES & DECK IF REQUIRED BY CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE THE BUILDING INSPECTOR IN ADVANCE OF HIS WORK OR AS THE INSPECTOR DEEMS
- APPROPRIATE. 5. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE OWNER/ENGINEER NOTIFIED IN WRITING OF ANY DISCREPANCIES PRIOR TO THE START OF WORK. THE OWNER/ENGINEER WILL EVALUATE THE SITUATION AND MODIFY THE PLAN AS NECESSARY.
- 6. ALL CHANGES MADE TO THIS PLAN SHALL BE APPROVED BY THE ENGINEER'S WHOSE SEAL APPEARS ON THESE DRAWINGS. 7. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
- 8. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THIS CONTRACT. 9. THE CONTRACTOR SHALL VERIFY ALL SUBSTRUCTURES ENCOUNTERED DURING CONSTRUCTION.
- 10. THE DESIGN ENGINEER DISCLAIMS ANY LIABILITY FOR DAMAGE OR LOSS INCURRED DURING OR AFTER CONSTRUCTION. 11. THE CONTRACTOR SHALL SECURE & PAY FOR A BUILDERS RISK POLICY TO COVER THE PERIOD OF CONSTRUCTION. THE ENGINEER & OWNER SHALL BE NAMED AS ADDITIONAL INSURED. ALL CONTRACTORS EMPLOYED AT THE SITE
- SHALL BE COVERED BY WORKMAN'S COMPENSATION 12. ENGINEER'S WHOSE SEAL APPEARS HEREON HAS NOT BEEN RETAINED FOR SUPERVISION OF CONSTRUCTION, SUBSEQUENTLY, HE HIS NOT RESPONSIBLE FOR CONSTRUCTION AND THEREFORE ASSUMES NO RESPONSIBILITY FOR
- CONSTRUCTION PRACTICES, PROCEDURES, AND RESULTS THEREFROM. 13. CONTRACTOR SHALL RESPECT 100' WETLAND CONTROL SETBACK, AND SHALL STAY WITHIN THE ORIGINAL LIMIT OF IMPROVEMENTS WITH PROPOSED STRUCTURES. ALL PRECAUTIONS SHALL BE TAKEN TO MINIMIZE DISTURBANCE WITHIN THE CONTROL AREA BY INSTALLING THE SEDIMENT EROSION CONTROL PRACTICES REQUIRED.

# Wall Notes:

- 1. SOIL REINFORCEMENT/GEOGRID SHALL BE "UX1100" U.O.N. AS MANUFACTURED BY THE TENSAR CORPORATION, MORROW GEORGIA. 2. UX1100 GEOGRID SHALL BE ORIENTED WITH THE ROLL DIRECTION
- PERPENDICULAR TO THE WALL FACE.
- 3. TENSAR GEOGRIDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH INSTALLATION PROCEDURES ESTABLISHED BY TENSAR EARTH TECHNOLOGIES.
- 4. THE CONTRACTOR SHALL PROVIDE PROPER SURFACE DRAINAGE DURING AND AFTER CONSTRUCTION TO MINIMIZE WATER INFILTRATION INTO THE REINFORCED
- SOIL ZONE. 5. GEOGRIDS SHALL BE INSTALLED AT THE SPECIFIED ELEVATIONS SHOWN ON THE
- WALL SECTION. 6. TENSAR GEOGRIDS SHALL BE PULLED TAUT UNTIL SUFFICIENT FILL IS PLACED
- OVER THE GEOGRIDS TO MAINTAIN TENSION IN THE GEOGRID. "U" SHAPED PINS SHALL BE USED TO FACILITATE INSTALLATION. 7. CONSTRUCTION EQUIPMENT SHALL NOT BE PERMITTED ON THE GEOGRID PRIOR
- TO THE PLACEMENT OF A MINIMUM OF 8" THICKNESS OF SOIL. 8. EXCAVATION IN GENERAL SHALL CONFORM TO THE LINES AND GRADES SHOWN ON THE CONTRACT DRAWINGS.
- 9. SOILS USED AS BACKFILL WITHIN THE REINFORCED ZONE AND UNIT DRAINAGE FILL SHALL CONSIST OF SOUND DURABLE PARTICLES TO THE GRADATION SHOWN IN THE TABLES BELOW. THE MATERIAL SHALL BE GRANULAR AND FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL. IN GENERAL THE SOIL SHALL BE NON- PLASTIC WITH A PLASTICITY INDEX LESS THAN 5 AND SHALL CONFORM TO THE AASHTO SOIL CLASSIFICATION SYSTEM FOR AN "A-1-a" SOIL. HOWEVER THE MAXIMUM SIZE SHALL BE AS SHOWN. IN GENERAL ALL FILL SHALL BE APPROVED BY THE ENGINEER PRIOR TO IT'S USE. WET MATERIAL OR UNSUITABLE MATERIAL SHOULD NOT BE USED.

# **REINFORCED ZONE FILL**

REINFORCED	ZONE FILL	 UNIT DRAINAG	GE FILL
SIEVE SIZE	PERCENT PASSING BY WEIGHT	SIEVE SIZE	PERCENT PASSING BY WEIGHT
2"	100	1"	100
No. 10	50 MAX.	3/4"	75 - 100
No. 40	30 MAX.	No. 4	0 -10
No. 200	15 MAX.	No. 50	0 - 5

- 10. IF ON-SITE EXCAVATED MATERIAL IS USED IT MUST CONFORM TO THE SAME MINIMUM REQUIREMENTS SPECIFIED.
- 11. SOIL WITHIN THE REINFORCED ZONE SHALL BE PLACED IN LOOSE 8" LIFTS. EACH LIFT SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY A.S.T.M. D1557 METHOD C.
- 12. EXCAVATION SHALL BE PERFORMED IN ACCORDANCE WITH THE "CONSTRUCTION SAFETY AND HEALTH ACT" (O.S.H.A.) PART 1926 SUB-PART P. 13. GEOTEXTILE FABRIC SHALL BE TREVIRA SPUNBOUND NON-WOVEN #1125 OR
- APPROVED EQUAL. THE GEOTEXTILE SHALL BE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDATIONS AND GUIDELINES. 14. THE CONTRACTOR SHALL NOT USE LARGE OR HEAVY CONSTRICTION EQUIPMENT WITHIN 5' OF THE RETAINING WALLS OR NEW GARAGE FOUNDATION WALL. HAND
- OPERATED COMPACTING EQUIPMENT SHALL BE USED WITHIN 5' OF THE WALL FACE 15. DURIN
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