



TOWN OF CORTLANDT PLANNING BOARD

Steven Kessler
Chairperson

Thomas A. Bianchi
Vice-Chairperson

David Douglas
Nora Hildinger
Kevin Kobasa
Peter McKinley
Jeff Rothfeder

Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567
Main #: 914-734-1080
Fax #: 914-788-0294

Planning Staff email:
chrisk@townofcortlandt.com

Town Supervisor
Richard H. Becker, MD

Town Board
James F. Creighton
Cristin Jacoby
Robert Mayes
Joyce C. White

TO JOIN THE MEETING REMOTELY USE THE ZOOM LINK BELOW:

<https://us02web.zoom.us/j/83115458879?pwd=1AGGfPNqX7g94ArQZZah2qhCAI3OTj.1>

WORK SESSION.....JUNE 5, 2025 6:00 PM

1. Discuss June 5, 2025 Regular Planning Board Meeting Agenda.

MEETING AGENDA.....PLANNING BOARD
TOWN OF CORTLANDT
6:30 THURSDAY EVENING*
JUNE 5, 2025

1. **PLEDGE TO THE FLAG**
2. **ROLL CALL**
3. **CHANGES TO THE AGENDA BY MAJORITY VOTE**
4. **ADOPTION OF THE MINUTES OF THE MEETING OF MAY 6, 2025**
5. **CORRESPONDENCE**

PB 2020-10 a. Letter dated May 14, 2025 from Judson K. Siebert, Esq. requesting the 3rd, one-year time extension of Conditional Site Plan approval for the Cortlandt CSG, LLC application for a solar energy system located on Lexington Avenue.

6. RESOLUTION

PB 2025-6 a. Application of Marah Mackenzie, P.E., on behalf of Wal-Mart Stores, Inc., for exterior storage of containers and pallets at the rear of the store for property located at the Cortlandt Town Center 3133 East Main St. (Route 6). Drawing dated April 11, 2025.

7. OLD BUSINESS

- PB 2024-6** **a.** Application of Richard Williams, P.E., on behalf of JAM Storage, LLC, for the property of Francisco Portillo, for Site Plan Approval and a Wetland Permit for the construction of an approximately 60,000 sq. ft. self-storage facility and related site improvements for property located at 2059 Albany Post Rd. Drawings dated May 27, 2025.

8. NEW BUSINESS

- PB 2025-10** **a.** Application of PSW Realty, for the property of AJ Picarello Jr., for Site Plan approval and a Special Permit for a Specialty Trade Electrical Contractor for property located at 2015 Albany Post Rd. Drawings dated May 22, 2025. (see prior PB 2022-6)
- PB 2025-11** **b.** Application of Dakota Recycling Services, LLC and Dakota Concrete Services, LLC for the property of Briga Enterprises Inc. & Bilotta Realty of Westchester Inc. for Amended Site Plan approval for the existing Dakota Recycling Services and Dakota Concrete Services for property located at 2099 Albany Post Rd. Drawings dated May 27, 2025 (see Prior PB's 2024-3, 8-03, 15-99 & 29-95).

9. ADJOURNMENT

Next Regular Meeting; TUESDAY, JULY 1, 2025 at 6:30 PM
Agenda information is also available at www.townofcortlandt.com

** Regular meeting will begin at the conclusion of the work session*

May 14, 2025

VIA EMAIL AND OVERNIGHT DELIVERY

Honorable Steven Kessler, Chairman
and Members of the Cortlandt Planning Board
Town of Cortlandt
1 Heady Street
Cortlandt Manor, New York 10567

JUDSON K. SIEBERT
Principal Member
jsiebert@kblaw.com

Re: Cortlandt Lexington I LLC, as Successor to Cortlandt
CSG, LLC
Solar Energy System/Extension of Site Plan Approval
Resolution No. 6-24

Dear Chairman Kessler and Planning Board Members:

My firm represents Cortlandt Lexington I LLC and 202 Cortlandt, LLC, the owner of unimproved premises located on Lexington Road and designated as Tax Parcel SBL 34.7-1-2.1 (this parcel is depicted on the attached aerial/tax map taken from the Westchester County GIS database). By Resolution No. 8-22, conditional site plan approval was issued to Cortlandt CSG, LLC for a proposed solar project on this property. Cortlandt Lexington I LLC is the successor to Cortlandt CSG, LLC and, in this capacity, obtained extensions of this approval. Pursuant to Resolution No. 6-24 (a copy of which is attached), this approval will expire on July 12, 2025.

Cortlandt Lexington I, LLC and 202 Cortlandt, LLC are in discussions with a solar energy operator to acquire the Lexington Avenue parcel and develop the project approved by the Planning Board. However, the July 12, 2025 expiration date is an impediment to these efforts on account of due diligence standards and, should the transaction proceed, the time necessary to satisfy the conditions attached to this approval.

Consequently, Cortlandt Lexington I, LLC and 202 Cortlandt, LLC respectfully request another one (1) year extension of this approval. In doing so, Cortlandt Lexington I LLC and 202 Cortlandt, LLC acknowledge the obligations borne, under Cortlandt Town Code §255-9(h), should this project proceed.

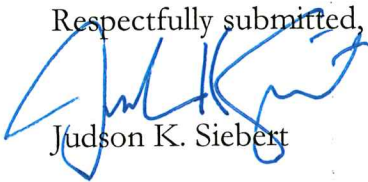
A similar request will be submitted to the Cortlandt Town Board concerning the special use permit issued for this project.

Honorable Steven Kessler, Chairman
and Members of the Cortlandt Planning Board
May 14, 2025
Page 2

An application fee of Two Hundred Fifty and No/100 (\$250.00) Dollars
accompanies this request.

I thank the Planning Board for its consideration of this request.

Respectfully submitted,



Judson K. Siebert

JKS/dy

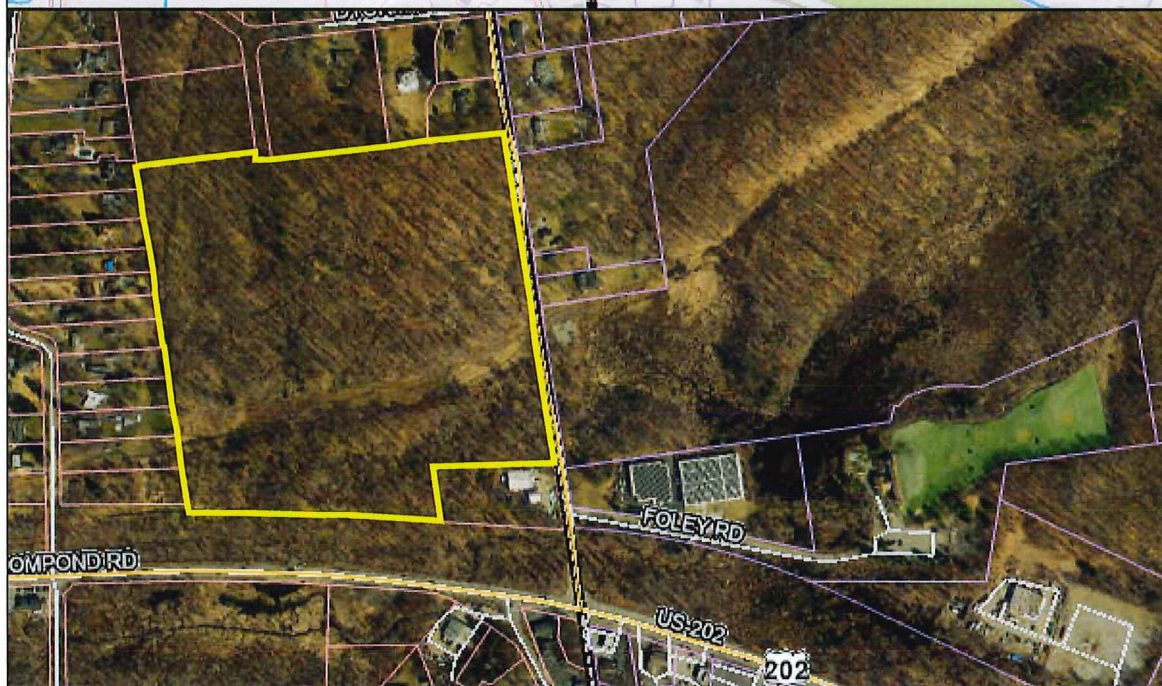
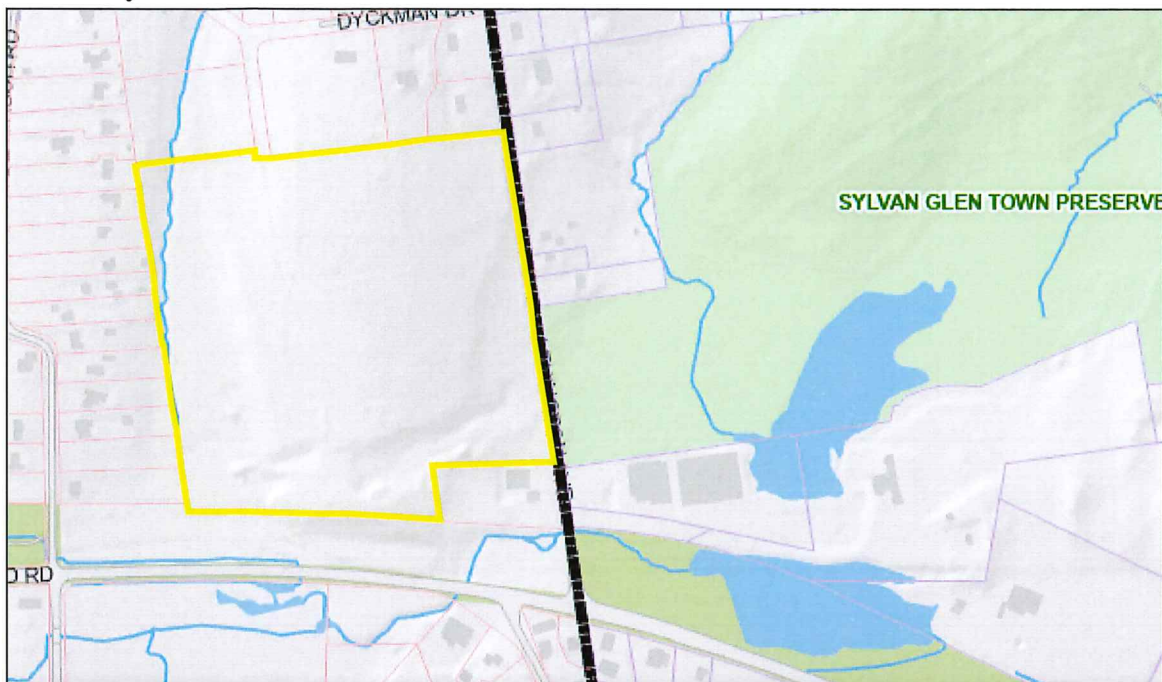
cc: Christopher Kehoe, AICP, Director of Town of Cortlandt
Department of Planning & Community Development
Michael Cunningham, Esq., Cortlandt Deputy Town Attorney

Tax Parcel Maps

Address: LEXINGTON AVE

Print Key: 34.7-1-2.1

SBL: 03400700010020010000



Disclaimer:

This tax parcel map is provided as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should **NOT** be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact the assessor's office of the municipality.

**TOWN OF CORTLANDT
PLANNING BOARD
PB 2020-10**

RESOLUTION NO. 6-24

WHEREAS, the application of **Cortlandt CSG LLC for the property of 202 Cortlandt, LLC** for Planning Board approval of a Site Development Plan pursuant to Chapter 307 (Zoning) and as per Chapter 255 (Solar) of the Town of Cortlandt Code and for Tree Removal, Steep Slope and Wetland Permits for a proposed Solar Energy System as shown on a 9 page set of drawings entitled "Site Development for Cortlandt CSG LLC" prepared by Cronin Engineering, P.E., P.C. latest revision dated June 1, 2022 was approved by Planning Board Resolution 8-22 adopted on July 12, 2022, and

WHEREAS, the subject parcel of approximately 33 acres is located on the west side of Lexington Avenue, north of Crompond Road (Rt. 202) and is designated on the Town of Cortlandt Tax Maps as Section 34.07, Block 1, Lots 2-9 & 11-17, and

WHEREAS, the Planning Board granted the 1st, one-year time extension of Site Development Plan approval by Resolution 6-23 on June 6, 2023, and

WHEREAS, by a letter dated June 18, 2024 Judson K. Siebert, Esq. requested the 2nd, one-year time extension of Conditional Site Plan approval, on behalf of Cortlandt Lexington I, LLC and 202 Cortlandt, LLC, as successor to Cortlandt CSG, LLC in order to continue to meet the conditions of said approval.

NOW THEREFORE BE IT RESOLVED, that the request of Judson K. Siebert, Esq for the 2nd, one-year time extension of conditional Site Plan approval is hereby **APPROVED**, subject extension to expire on July 12, 2025.

**Adopted: July 9, 2024
Cortlandt Manor, New York**

**Filed in the Office of the Town Clerk
and Planning Board this 10th day
of July, 2024.**



**Chris Kehoe
Clerk to the Planning Board**

DRAFT

**TOWN OF CORTLANDT
PLANNING BOARD
PB 2020-10**

RESOLUTION NO. 13-25

WHEREAS, the application of **Cortlandt CSG LLC for the property of 202 Cortlandt, LLC** for Planning Board approval of a Site Development Plan pursuant to Chapter 307 (Zoning) and as per Chapter 255 (Solar) of the Town of Cortlandt Code and for Tree Removal, Steep Slope and Wetland Permits for a proposed Solar Energy System as shown on a 9 page set of drawings entitled “Site Development for Cortlandt CSG LLC” prepared by Cronin Engineering, P.E., P.C. latest revision dated June 1, 2022 was approved by Planning Board Resolution 8-22 adopted on July 12, 2022, and

WHEREAS, the subject parcel of approximately 33 acres is located on the west side of Lexington Avenue, north of Crompond Road (Rt. 202) and is designated on the Town of Cortlandt Tax Maps as Section 34.07, Block 1, Lots 2.1, and

WHEREAS, the Planning Board by Resolutions 6-23 and 6-24 previously granted two, 1-year time extensions of the Site Development Plan, and

WHEREAS, by a letter dated May 14, 20245 Judson K. Siebert, Esq. requested the 3rd, one-year time extension of Conditional Site Plan approval, on behalf of Cortlandt Lexington I, LLC and 202 Cortlandt, LLC, as successor to Cortlandt CSG, LLC in order to continue to meet the conditions of said approval.

NOW THEREFORE BE IT RESOLVED, that the request of Judson K. Siebert, Esq for the 3rd, one-year time extension of conditional Site Plan approval is hereby **APPROVED**, subject extension to expire on July 12, 2026.

TO BE CONSIDERED FOR ADOPTION: JUNE 5, 2025

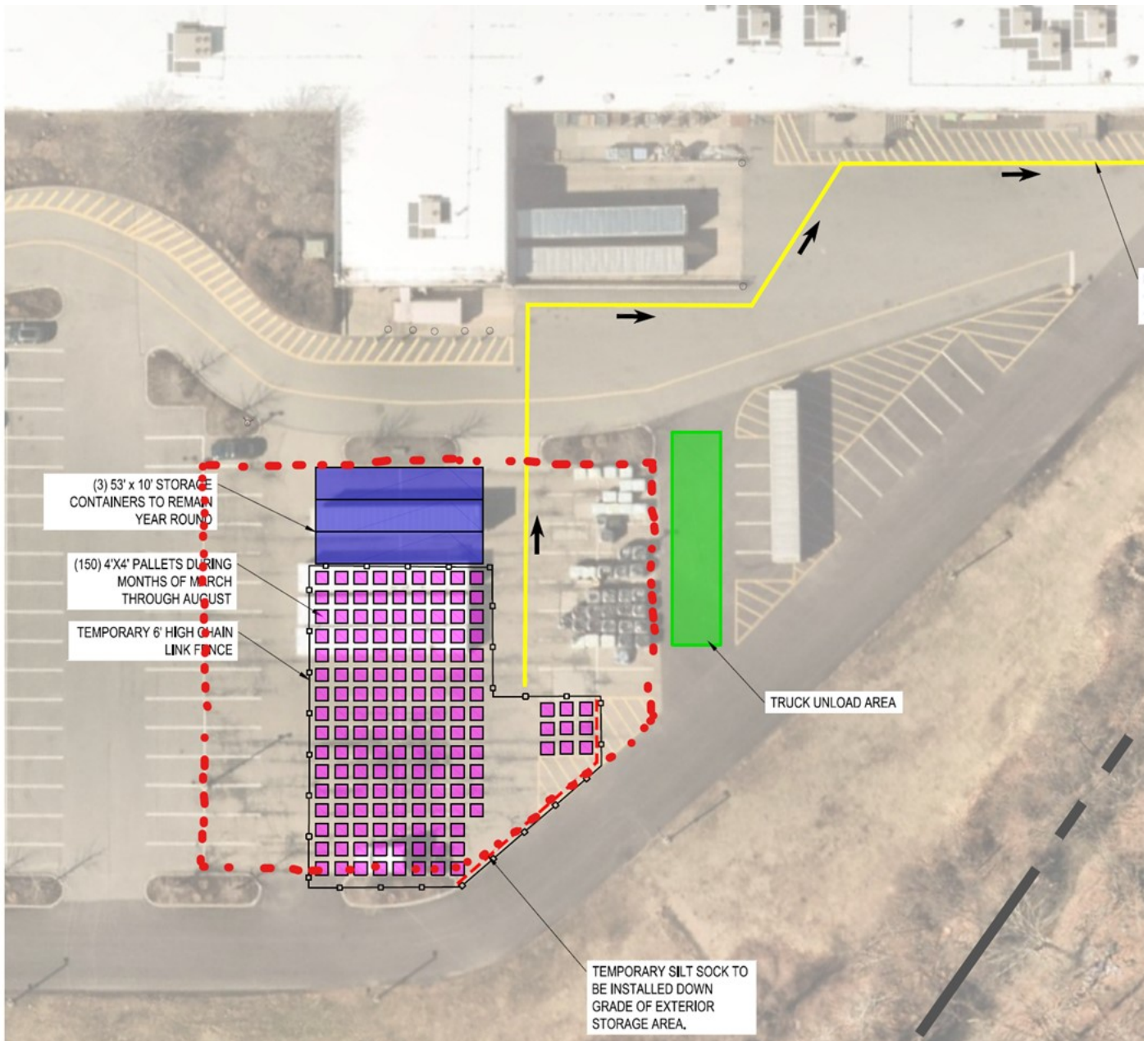
Chris Kehoe

From: Michael Preziosi
Sent: Thursday, May 22, 2025 3:40 PM
To: Marah MacKenzie
Cc: Chris Kehoe; Justin Lattierre; Sarah North; Heather LaVarnway; Martin Rogers; John Schembari
Subject: RE: Walmart Store #2531 - Exterior Storage

Marah,

I am not certain this attempt is what was discussed with our Fire Inspector and Code Enforcement Officer.

Primarily, you are substantially increasing outdoor storage of goods in an unsecured area also necessitating movement by people, skid steers and small equipment in vehicular travel ways.



What the Town had discussed is to properly secure outdoor storage of goods and materials in a similar fashion to which Home Depot as done. They installed a secured fenced in area and move material directly into a loading area and side entrance door.

Walmart should look to accomplish the same by installing fencing in the red dashed areas and programming the internal use as you best see fit.

Comments to be addressed:

1. Fence shall be secured, slated for privacy and be "no climb". Fence height shall shown to a maximum of 8-ft. Detail accordingly.
2. Identify the type of goods and materials to be stored outside. .
3. Provide details for all proposed improvements including but not limited to erosion controls, fencing, shelving, etc...

4. Add the following notes to the plan:

- a. Walmart shall immediately notify the Town Center and Town of Cortlandt if any change to proposed storage of outdoor goods and trailers are proposed. No changes shall be made until approved by the Town of Cortlandt.
- b. There shall be no storage of flammable or hazardous materials in the trailers or within the confines of the storage area.
- c. Quarterly all site controls shall be inspected, with report provided to the Town of Cortlandt. Erosion controls and silt / filter socks shall be reset and all debris swept and removed from the storage area. All debris shall be lawfully disposed of offsite.
- d. Under no circumstance shall the main driveway aisles or fire lanes be blocked or obstructed, even for temporary delivery and offloading of goods and materials.

Best,

Mike

Michael Preziosi, P.E.
Director – Dept. of Technical Services

Town of Cortlandt
1 Heady Street
Cortlandt Manor, NY 10567
www.townofcortlandt.com

914-734-1060 (office)



From: Marah MacKenzie <marah.mackenzie@collierseng.com>

Sent: Thursday, May 22, 2025 7:03 AM

To: Michael Preziosi <MichaelP@townofcortlandt.com>

Cc: Chris Kehoe <ChrisK@townofcortlandt.com>; Justin Lattierre <Justin.Lattierre@collierseng.com>; Sarah North <sarah.north@collierseng.com>

Subject: Walmart Store #2531 - Exterior Storage

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning, Michael,

Please see attached revised plan for the Walmart exterior storage proposal. We will adjust if necessary and officially submit our plan and comment response letter in order to attend the 6/5 Planning Board meeting with a draft resolution.

Chris, please let me know if you have any questions at this time.

Thank you both for your time and assistance!

Best regards,

Marah MacKenzie

Project Services Coordinator | Civil/Site
Rochester, New York

Colliers Engineering & Design

marah.mackenzie@collierseng.com

Direct: 585 498 7912 | Main: 877 627 3772

colliersengineering.com | [affiliated authorized entities](#)



DISCLAIMER This e-mail is confidential. It may also be legally privileged. If you are not the addressee you may not copy, forward, disclose or use any part of this email text or attachments. If you have received this message in error, please delete it and all copies from your system and notify the sender immediately by return e-mail. Internet communications cannot be guaranteed to be timely, secure, error or virus free. The sender does not accept liability for any errors or omissions. Any drawings, sketches, images, or data are to be understood as copyright protected.

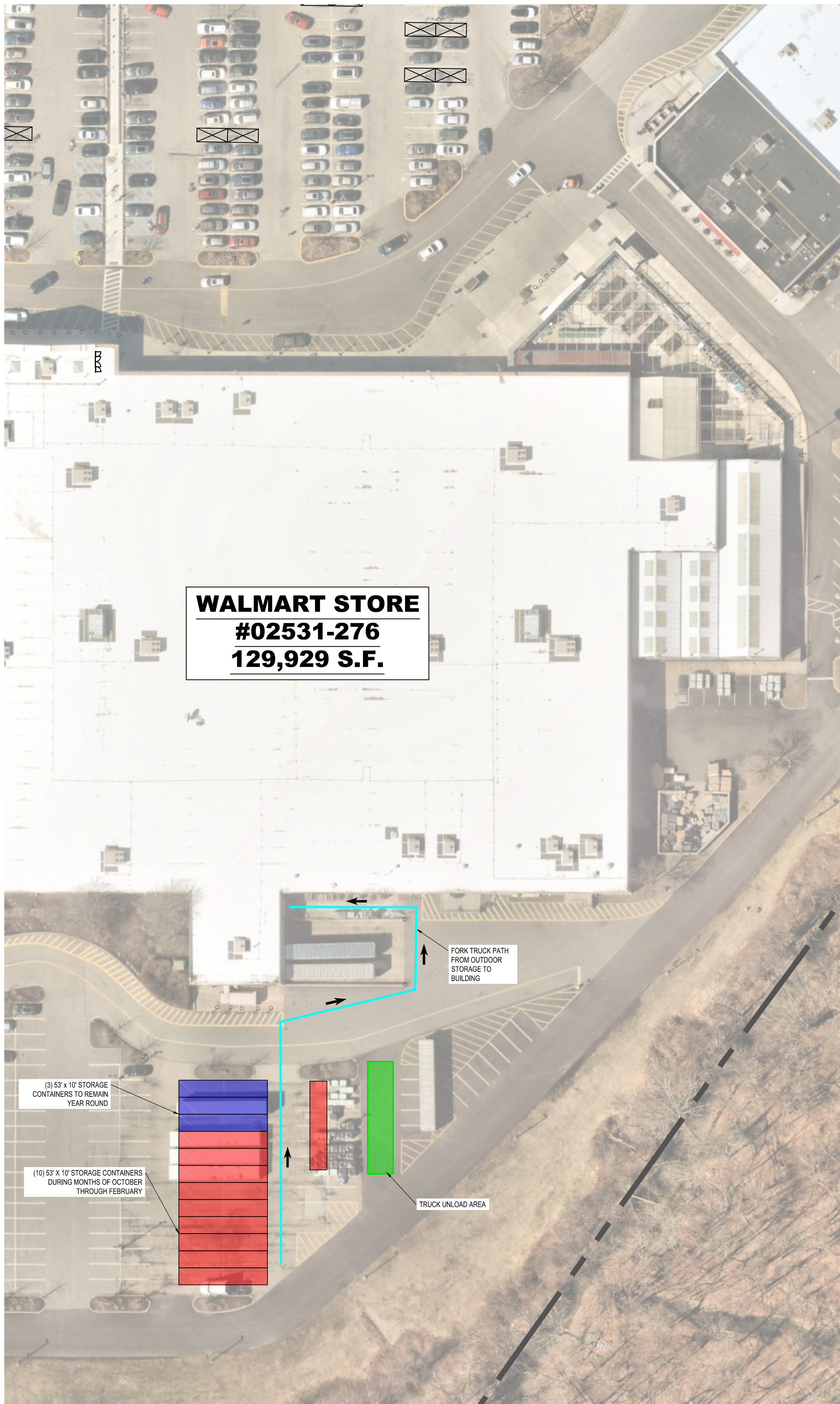
SITE ANALYSIS TABLE (EXISTING STORE)				
	EXISTING	PERMANENT TRAILERS	PROPOSED SOLUTION MARCH-AUGUST	PROPOSED SOLUTION OCTOBER-FEBRUARY
TOTAL BUILDING AREA	129,929 SQUARE FT.	129,929 SQUARE FT.	129,929 SQUARE FT.	129,929 SQUARE FT.
REQUIRED PARKING (PER AHJ)	650 SPACES	650 SPACES	650 SPACES	650 SPACES
REQUIRED PARKING RATIO (PER AHJ)	5.00 / 1,000 SF	5.00 / 1,000 SF	5.00 / 1,000 SF	5.00 / 1,000 SF
PROPOSED TOTAL PARKING	570 SPACES	564 SPACES	504 SPACES	526 SPACES
PROPOSED PARKING RATIO	4.39 / 1,000 SF	4.34 / 1,000 SF	4.16 / 1,000 SF	4.13 / 1,000 SF

NOTES

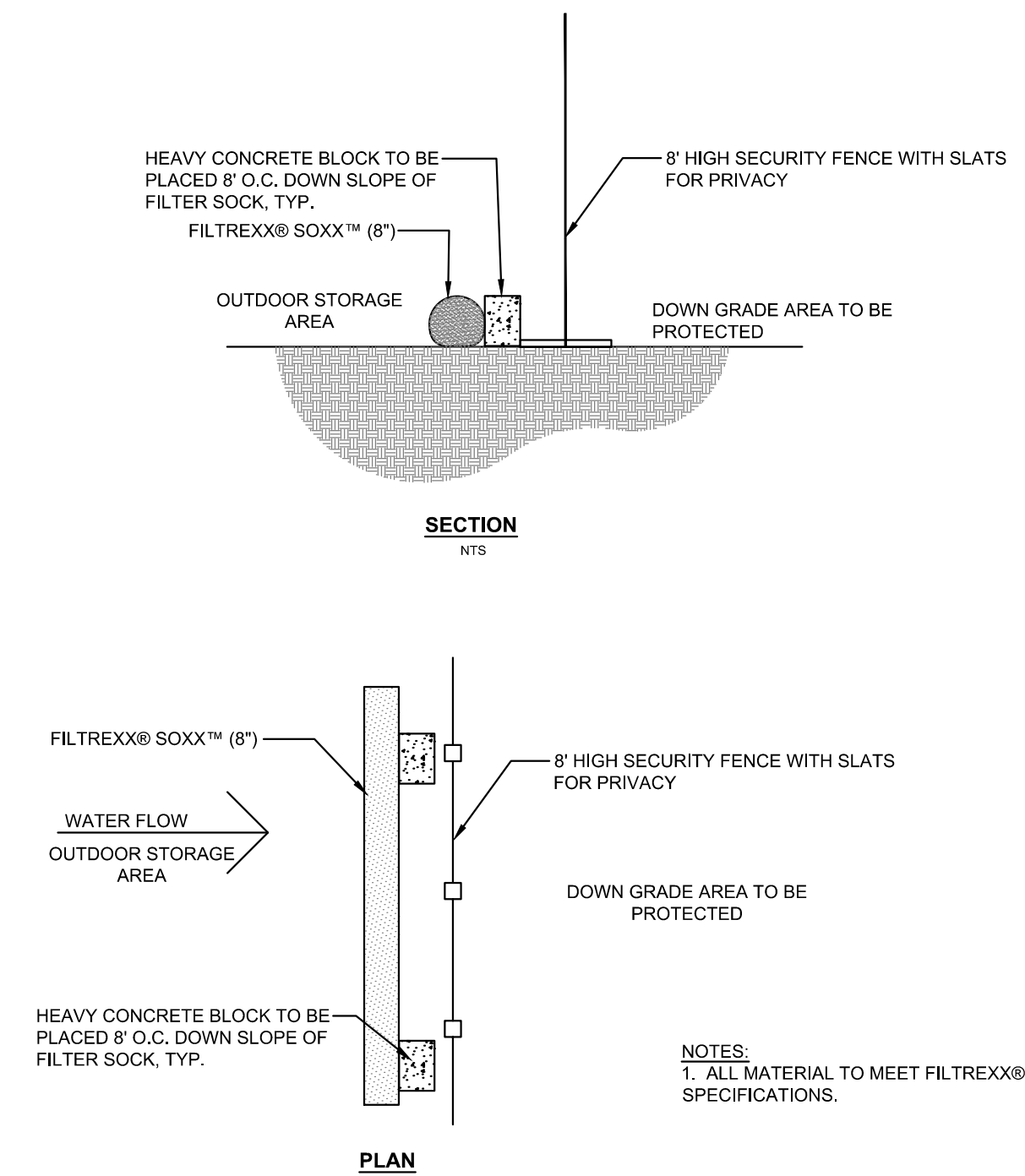
- MATERIAL STORED IN THE EXTERIOR STORAGE AREA BETWEEN MARCH-AUGUST WILL BE LIMITED TO MULCH AND TOPSOIL, STACKED ON PALLETS. ITEMS WITHIN THE CONTAINERS COULD BE ANY NON-PERISHABLE PRODUCT WHICH IS SOLD IN THE STORE.
- WALMART SHALL IMMEDIATELY NOTIFY THE TOWN CENTER AND TOWN OF CORTLANDT IF ANY CHANGES TO THE PROPOSED STORAGE OF OUTDOOR GOOD AND TRAILERS ARE PROPOSED. NO CHANGES SHALL BE MADE UNTIL APPROVED BY THE TOWN OF CORTLANDT.
- QUARTERLY ALL SITE CONTROL SHALL BE INSPECTED, WITH A REPORT PROVIDED TO THE TOWN OF CORTLANDT. EROSION CONTROLS AND/OR SILT/FILTER SOCKS SHALL BE RESET AND ALL DEBRIS SWEEPED AND REMOVED FROM THE STORAGE AREA. ALL DEBRIS SHALL BE LAWFULLY DISPOSED OF OFF-SITE.
- UNDER NO CIRCUMSTANCE SHALL THE MAIN DRIVEWAY AISLES OR FIRE LANES BE BLOCK OR OBSTRUCTED, EVEN FOR TEMPORARY DELIVERY AND OFFLOADING OF GOODS AND MATERIALS.



EXTERIOR STORAGE PLAN
(MARCH - AUGUST)
IMPACTED PARKING STALLS: 30
(3 PERMANENT & SEASONAL SALES AREA)



EXTERIOR STORAGE PLAN
(OCTOBER - FEBRUARY)
IMPACTED PARKING STALLS: 34
(6 PERMANENT & 10 SEASONAL)



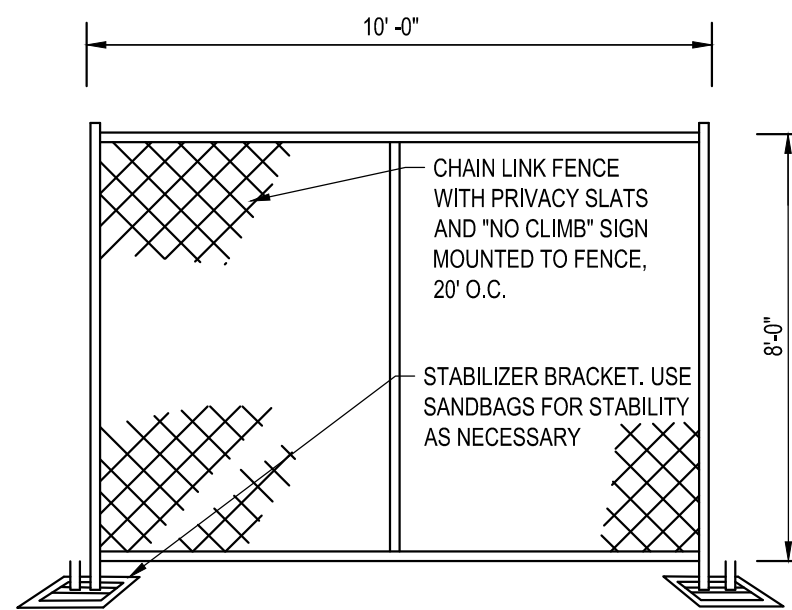
FILTREXX FILTERSOXX SEDIMENT CONTROL
N.T.S.



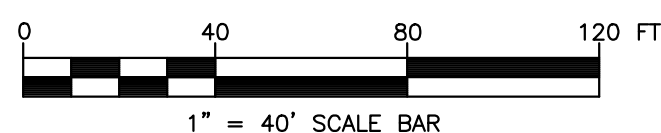
STABILIZER BRACKET @ NON-GATE LOCATIONS
N.T.S.



STABILIZER BRACKET @ GATE OPENING
N.T.S.



TEMPORARY FENCING DETAIL
N.T.S.



NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

Colliers

Engineering
& Design

www.colliersengineering.com

Copyright © 2025, Colliers Engineering & Design, Inc. All rights reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is lent. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Colliers Engineering & Design.

Formerly known as **BERGMANN**



PROTECT YOURSELF

ALL STATES REQUIRE NOTIFICATION OF
DIGITIZERS, ENGINEERS, OR ANY PERSON
PREPARING TO DIGITIZE THE EARTH'S
SURFACE ANSWERS IN ANY STATE

FOR STATE SPECIFIC DIRECT PHONE NUMBERS
VISIT: WWW.CALL811.COM

DATE
DRAWN BY
DESCRIPTION

DATE
DRAWN BY
DESCRIPTION

NOT FOR CONSTRUCTION

Walmart

Walmart Stores, Inc.
2608 SE J Street
Bentonville, AR 72716

Store # 02531-276
3133 E. MAIN STREET
MOHEGAN LAKE, NY

Colliers

Engineering
& Design

ROCHESTER
280 East Broad Street
Suite 200
Rochester, NY
Phone: 585-522-5135
COLLIERS ENGINEERING & DESIGN
ARCHITECTURAL ASSOCIATES
ARCHITECTURAL SURVEYING, CT P.C.

SCALE: AS SHOWN
DATE: 04/11/25
PROJECT NUMBER: 23014403A
DRAWN BY: ES
CHECKED BY: JWL
REVIEWED BY: JWL
SHEET NAME: CP 2

EXTERIOR STORAGE
EXHIBIT

CP 2



May 27, 2025

Town of Cortlandt Planning Board
1 Heady Street
Cortlandt Manor, NY 10567

RE: Jam Storage
2059 Albany Post Road
Town of Cortlandt, NY

Dear Chairman Kessler and Members of the Board:

Enclosed please find the following documents submitted in support of your review of the above project.

- Site Plan Drawing Set, 1 full size & 7 reduced size, last revised May 27, 2025
- Stormwater Pollution Prevention Plan, 1 full size, dated May 22, 2025
- Constraints Map, 1 full size & 7 reduced size, dated May 22, 2025

Since the applicant last appeared before the Planning Board they have been working with the Town Board to secure an alternate access to the site from Memorial Drive. We are happy to report we believe the discussions have progressed to the point where we would like to present the new access to the Planning Board and continue with the project review. Please note we are aware the onsite wetland potentially extends offsite and are currently waiting for our Environmental Consultant to complete his delineation. For the purpose of this submission the offsite wetlands have been approximated. Our next submission will have the expanded delineation completed and the wetlands survey located.

With respect to the comments received from the Town Planner, Director of Code Enforcement and Town Engineer we offer the following responses:

Memorandum from Chris Kehoe, AICP, Director of the Town of Cortlandt dated, December 19, 2024:

1. *The Planning Division conducted a review of the subject application consisting of a 7-page set of drawings entitled "JAM Storage, LLC" prepared by Richard Williams, P.E. latest revision dated November 20, 2024.*

No response necessary – the comment is acknowledged.

2. *Based on a review of the above-mentioned drawing and application, the following information as required by Chapter 307-71 of the Town of Cortlandt (Zoning) and other regulations should be submitted for the subject application unless waived by the Planning Board at the applicant's request. Fire Department*

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com

- a. *Include the Section, Block & Lot number with the owner's names for all adjacent properties.*

The Section, Block & Lot number with the owner's names for adjacent properties has been shown as requested. Please refer to Drawing OP-1 for the requested information.

- b. *Sheet EX-1 shows trees to be removed. The applicant is advised that as per Chapter 283 (Trees) of the Town Code all trees located within 50' of any proposed disturbance must be field located and inventoried and a report as to the tree size, species and health must be submitted by a Town-approved arborist. The Planning Board will make a determination on the granting of the tree removal permit as per Section 283-7 of the Town Code.*

The intent of this resubmission is to review the alternate access plan with the Planning Board and address the technical comments. The owner is currently engaging an arborist to have the requested inventory and subsequent survey performed. This information will be added to our next submission and will also include the required Tree Removal Permit.

- c. *A complete landscape plan shall be provided to include a mix of native deciduous trees, evergreens, shrubs, ground cover, etc. A landscape chart shall be added to the landscape plan listing sizes, species and total number of each proposed plant, including those proposed for the "stormwater planter." The proposed landscape plan shall be referred to the Town's Conservation Advisory Council (CAC) for their review and comments.*

A landscape plan has been prepared and is illustrated on Drawings SP-1.

- d. *The subject site plan shall show the proposed location and size of any site signage, wall signage and free-standing signage as per Chapter 245 (Signs) of the Town of Cortlandt Code. The applicant is further advised that referral to the Town's Architectural Advisory Council (ARC) will be required when the specific sign details are finalized.*

The applicant is currently working on finalizing project signage and will include the signage in a subsequent submission.

- e. *The subject site plan shall show a detail of the proposed dumpster enclosure. The applicant is advised that the Town will not pick up garbage from this facility. A self-storage facility may generate a significant amount of recycled material; the applicant shall clarify expected volumes. The garbage enclosure shall be sized to ensure that all garbage, boxes, packing material, etc. can be contained within; if the applicant will be requiring customers to remove from the site all materials generated by them, the*

applicant shall state as such. In addition, the applicant shall show that the dumpster(s) can be properly accessed by the hauler; the applicant may wish to reach out to various haulers to determine what type of vehicle/loading will likely be utilized for the expected volume of garbage/recycling removal in order to ensure adequate truck access is provided. The dumpsters may be more accessible if shifted around the corner off the north side of the curb cut.

A dumpster enclosure detail has been provided on the project drawings and is sufficiently sized to address the applicant's needs.

- f. Provide elevation drawings for all 4 building elevations illustrating the proposed architectural design, including the type and color of materials to be used, and the location and type of all building access points. The applicant is advised the building elevations shall be referred to the Town's Architectural Review Council (ARC) for review and comment.*

The applicant is currently working on developing the architectural drawings and will include them and elevations in a subsequent submission.

- g. The applicant is advised that a lighting plan with photometrics, along with fixture specification sheets, is required and that all site lighting, both for the building and site, shall comply with the Town's Outdoor Lighting Standards as per 307-12.3*

A lighting plan has been included in the project drawing set and has been designed in accordance with Section 307-12.3 of the Town Code.

- h. The subject site plan shall show any existing and proposed retaining walls and fences with details, including spot elevations at regular intervals along the top and bottom of the wall. Sheet SP-2 may need to be amended to show how the retaining walls integrate with the topography.*

Retaining wall and fence details have been added to the project drawings and additional spot elevations added as requested.

- i. The applicant shall provide detailed turning radii diagrams to illustrate that all vehicle types expected to visit the site, including moving vans and fire apparatus, can properly navigate the on-site vehicular circulation system*

Detailed turning diagrams illustrating how moving vans and fire apparatus will navigate the property have been provided as requested.

- j. The Planning Board Engineer will provide a separate memo reviewing and commenting on all utilities, i.e. septic, water, drainage, stormwater, road access, etc*

Comment noted, please refer to responses below from the Planning Board Engineer's latest comments.

3. *The applicant is seeking site plan approval for the construction of a 60,000 sq. ft. self-storage facility with a 30,000 sq. ft. building footprint, associated parking, landscaping, and stormwater facilities. The subject site plan shows 6 parking spaces, including one handicapped space. The site is accessed off of Ferris Lane, a private road off of Albany Post Rd. (Rt. 9A). The subject building will be serviced by public water and an on-site septic system. The subject site is approximately 3.2 acres and is zoned HC-9A highway-commercial multi-family residential. A self-storage facility is permitted at this location as per recently adopted modifications to the Town Zoning Code that permits self-storage facilities to be located in the HC-9A zone south of Memorial Drive. In addition, the Town Board recently adopted new language defining and regulating self-storage facilities (see attached Local Law). The proposed self-storage facility is required to meet all dimensional setbacks as required by the existing HC-9A zoning. Self-storage facilities require 1 parking space per 10,000 sq. ft. of floor area. The proposed site plan shows 6 parking spaces*

No response necessary as the required amount of parking has been provided on the project site plan.

4. *As stated above the access to the site is proposed off of Ferris Lane, a private road that shall be improved and designed to Town Road standards as part of this application to the satisfaction of the Town Engineer, Planning Board Consulting Engineer, and the Director of Environmental Services. A title report shall be submitted by the applicant confirming who owns the underlying land and whether the applicant has rights to access and modify Ferris Lane.*

Given the shallow angle of intersection between the self-storage driveway and Ferris Lane, it appears that a left-in/right-out only designation may be required; the applicant shall confirm, or redesign the site access to be a more traditional 90-degree intersection. The applicant shall also consider how future access to parcels further east would be accommodated by the improved road as designed; consideration could be given to continuing the roadway beyond the site access point and terminating it with a hammerhead until such time as future easterly access is required, while providing a clear and separate driveway intersection for the self-storage site. Ferris Lane intersects with NY Rt. 9A (Albany Post Road). The applicant shall contact the NYS Department of Transportation to determine what permits they will require. The applicant shall analyze with Town staff and the NYS DOT whether the existing asphalt area to the north of the Ferris Lane/Albany Post Rd./Rt 9A intersection should be modified or eliminated

The applicant has worked with the Town to secure an alternate access to the property from the neighboring Town Property to the north / west. The intent of this submission is to introduce this new access to the Planning Board. As such improvements are no longer proposed to Ferris Lane as part of this application.

5. *Town and U.S. Army Corps of Engineers regulated wetlands on the subject site were delineated by the applicant's wetland consultant James Bates. The delineation was confirmed by the Town's wetland consultant Michael Young in a report dated June 12, 2024, amended August 30, 2024 (previously distributed to the Planning Board). A wetland permit as per Chapter 179 of the Town Code is required. The applicant shall provide a written analysis of how their proposed project meets the requirement of Section 179-6, Issuance or denial of permits.*

The wetland and wetland buffer disturbance charts at the bottom of sheet OP-1 shall be clarified and simplified to simply show the total amount of regulated wetland and wetland buffer site wide (right-of-way and within the lots), the total amount of wetland disturbance and wetland buffer disturbance site wide, and the total amount of proposed mitigation and ratio of mitigation.

Additional information regarding impervious coverage existing, impervious new, impervious new over lawn, impervious redeveloped over existing impervious, etc. can be explained in a project narrative.

The proposed wetland mitigation plantings, including any planting proposed within the stormwater planters adjacent to the building, shall be shown on the subject site plan and detailed in a chart showing the type, number, size and species of the proposed plantings. The subject site plan shows a proposed stormwater treatment facility adjacent to the proposed wetland mitigation area that will also be landscaped and planted. It is noted that the landscape treatment of the proposed stormwater facility does not constitute mitigation for the proposed wetland and wetland buffer disturbance

The wetland buffer disturbance charts have been clarified as requested. In addition, a planting design has been added to the site plan drawings for the wetland mitigation area, stormwater planters, and gravel wetland.

6. *The applicant shall provide a colored map as per the attached guidelines depicting the impacts of the proposed site plan and all associated site improvements to wetlands, wetland buffers and areas of steep slope.*

The Constraints Map (colored map) has been provided as requested.

7. *The applicant shall clarify where the loading areas are and how customers will interface with the building, including where they will access the rental office and how/where customer vehicles will be situated for loading/unloading purposes*

A Loading Area has been illustrated on the proposed drawing as requested. As additional architectural details are provided the site layout will be updated to illustrate pedestrian / customer interaction between the building and the site.

8. *Sheet SP-3 shows a temporary soil stockpile located within the wetland buffer near the proposed site entrance. Such activity is prohibited per §179-3.B.*

The temporary soil stockpile has been relocated as requested.

9. *The striping adjacent to the accessible parking space must be 8 feet wide per the building code; it appears to be too narrow as shown on sheet OP-1.*

The striping next to the accessible parking space has been revised to 8 feet wide as requested.

10. *The Planning Board has conducted a site visit of the subject property. At the site visit a possible alternative access to the site through Town property, either adjacent to or through the parking area of the State Police barracks, was discussed. The applicant is advised that if they wish to show this access as a potential alternative to the Ferris Lane access, the applicant, as part of the conceptual design, shall quantify any impacts the proposed access has to wetland, wetland buffers, slopes, and trees, confirm sight distance along Memorial Drive is sufficient and analyze any potential impacts to the State Police barracks property. The decision on whether to permit this alternative access is up to the Town Board.*

The applicant has worked with the Town Board to secure a proposed access through the adjacent Town property. The wetland buffer disturbance charts on Drawing OP-1 have been updated to account for the new access through the Town property. Please note the offsite wetland on Town property was approximated using GIS mapping. The project's

environmental consultant is currently updated the wetland delineation which will be added to the project drawings in our next submission.

11. *The subject application is classified as an unlisted action pursuant to the New York State Environmental Quality Review Regulations. The applicant submitted Part One of the Full Environmental Assessment Form (attached) for the Board to use together with all information submitted with this application to evaluate what, if any, significant environmental impacts may result from the proposed project.*

No response necessary – the comment is acknowledged.

12. *Enclosed is an aerial view of the subject site. A site plan drawing was transmitted to the members of the Planning Board at the time the application was submitted.*

No response necessary – the comment is acknowledged.

13. *Referrals of this application will include, the Planning Board Engineer, the Office of Code Administration and Enforcement, the Architectural Review Council, the Conservation Advisory Council, the Fire Advisory Board and Westchester County. The Planning Board has declared their intent to be Lead Agent and has referred the drawing and EAF to interested and involved agencies.*

No response necessary – the comment is acknowledged.

Memorandum from Martin G. Rogers, P.E. Director of Code Enforcement of the Town of Cortlandt dated, December 19, 2024:

1. *Zoning Table shall note the proposed number of stories and height. Stating less than 35' for Building Height is not acceptable. If the proposed building height is greater than 30' the following Sections of the FCNYS shall be met:*
- a. D104.1 Buildings Exceeding Three Stories or 30 Feet in Height*
 - b. D105 Aerial Fire Apparatus Access Roads.*

The proposed building height will be finalized once architectural drawings are prepared for the project. The intent at this point is the building will be designed to be zoning code compliant with respect to height.

If the building is constructed between 30 and 35 feet the project architect will reach out to the Town to discuss the requirements of Section D104.1 as it relates to the building construction.

The project site has been designed to provide an aerial fire apparatus access road along one side of the proposed building that meets the requirements of Section D 105.

2. *Provide a diagram showing how Fire Apparatus can maneuver on the Site.*

A turning study demonstrating how fire apparatuses can maneuver onsite has been provided as part of the project drawing set.

3. *Show required "No Parking Fire Lane" Signs along the internal drive areas on both sides. FCNYS D103.6 Signs.*

The "No Parking Fire Lane" signs have been added as requested.

4. *Update Sign Table to show the correct NYS Symbol for Accessibility and include Sign installation detail(s).*

The NYS Symbol for Accessibility has been updated and sign installation details provided.

5. *The Accessible Access Aisle on the Site Plan is not shown as the required 8' width.*

The striping for the accessible access aisle has been revised to 8 feet wide as requested.

6. *Show all entrances and exits to/from the building. How will the egress path be protected from vehicles? Bollards?*

The applicant is currently working on developing the architecture for the building which will indicate entrance/exit locations. Egress paths are anticipated to be protected by bollards, which will be added to the project drawings when final door locations are determined.

7. *Dumpster enclosure and details are missing.*

A dumpster enclosure detail has been added to detail sheet D-1 of the project drawing set.

8. *Show existing Hydrants and show required hydrant on Ferris Court located within 600' of the Fire Apparatus turnaround. FCNYS 507.5.1.*

The existing hydrant has been shown on the project plans. As the primary access point to the property has shifted connect to Memorial Drive, Ferris Court will remain in its current conditions with no additional improvements contemplated as part of this project. In addition the existing hydrant on Ferris Drive is located within 600 feet of the Fire Apparatus Turn Around.

9. *Retaining wall along the access road (Ferris Court) limits future access to the adjacent parcel (55.13-2-18). This parcel if developed may be required to comply with the items in comment 1 above.*

The primary access point to the proposed project has shifted to connect to Memorial Drive through adjacent Town property. Ferris Court will remain in its current condition with no alterations contemplated as part of this project. As such the retaining wall noted in this comment was eliminated from the drawing.

10. *Entrance to the Site should be a conventional entrance from Ferris Court.*

The primary access point to the proposed project has shifted to connect to Memorial Drive through adjacent Town property. Ferris Court will remain in its current condition with no modifications proposed as part of this project.

11. *Stormwater and drainage items are not in compliance with Westchester County Health Department Rules and Regulations for The Design and Construction of Residential Onsite Wastewater Treatment Systems and Drilled Wells in Westchester County, New York. Article II, Section 873.203.1 of Chapter 873 of the Laws of Westchester County. Items noted not in compliance for the proposed OWTS area:*

- a. *Pavement within 5'.*

All pavement maintains a minimum of 5' of separation to OWTS absorption areas.

- b. *Catch Basin within 50'.*

Catch Basins have been relocated to maintain a minimum of 50' of separation to the OWTS absorption area.

- c. *Closed Pipe Drainage within 25'.*

Closed Pipe Drainage has been adjusted to maintain a minimum of 25 feet of separation to the OWTS absorption area.

- d. *Downgrade Curtain Drain behind the retaining wall within 50'?*

Retaining Walls have been adjusted to maintain a 50' of separation to absorption areas.

Any preliminary testing performed shall be submitted supporting a system can be designed for this area.

The testing as witnessed by WCDOH has been added to the project drawings.

12. *The New York State Department of State recently amended its regulations concerning the minimum standards for the administration and enforcement of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Construction Code. Effective December 30, 2022, pursuant to 19 NYCRR 1203.3(a)(3)(ix), code administration and enforcement agencies will require, where applicable, construction documents submitted as part of an application for a building permit to include, among other things evidence that the documents were prepared by a licensed and registered architect in accordance with Article 147 of the New York State Education Law or a licensed and registered professional engineer in accordance with Article 145 of the New York State Education Law and practice guidelines, including but not limited to*

- *The design professional's seal which clearly and legibly shows both the design professional's name and license number and is signed by the design professional whose name appears on the seal in such a manner that neither the name nor the number is obscured in any way*
- *The design professional's registration expiration date*
- *The design professional's firm name (if not a sole practitioner), and,*
- *If the documents are submitted by a professional engineering firm and not a sole practitioner professional engineer, the firm's Certificate of Authorization number.*

The above requested information has been included in the title block of each site plan drawing of the project plan set. This includes the design professional's seal, design professional's registration expiration date, design professional's firm name, and the firm's Certificate of Authorization number.

Memorandum from Christopher Lapine, P.E., LEED AP, from LaBella Associates, DPC dated, December 19, 2024

Administrative

1. *ALL plans subsequently submitted to the Town for review must be designed for construction and be complete for review by all regulatory agencies having jurisdiction (e.g. WCDOH, ACOE, NYSDEC, etc).*

No response necessary – the comment is acknowledged.

2. *Applicant shall be required to meet the standards set forth in Chapter 157 - Excavations and Topsoil Removal should publication of this chapter become available during the design process at the discretion of the Town Planning Board.*

No response necessary – the comment is acknowledged.

3. *Applicant shall either demonstrate a "Steep Slopes" disturbance permit is not required or apply for a "Steep Slopes" disturbance permit in accordance with Chapter 259 - Steep Slopes as it relates to the grading on the north side of the site.*

It is our understanding that a steep slopes permit request is made to the Planning Board as part of the site plan review process, and there is not a separate permit to be submitted. As part of our next submission a narrative in support of the issuance of a steep slopes permit will be provided.

4. *The Applicants plans indicated the on-site wetlands fall under the jurisdiction of the Army Corp of Engineers. Please provided a jurisdictional determination of the wetlands.*

Based on the modifications to the site access and work no longer being performed along Ferris Lane a jurisdictional determination is not believed to be necessary.

5. *As the project requires the removal of four or more trees on said property, the Applicant shall prepare an application for a permit in accordance with Chapter 283 Trees.*

The applicant is currently working with an arborist to obtain an onsite inventory of trees in response to Town comments. Once that is prepared it will be submitted the necessary Tree Removal Application.

6. *Planning Board should discuss and advise the Applicant if the placement of the gravel wetland for stormwater management within the wetland buffer areas is acceptable, as it replaces natural filtration with artificial retention / detention areas.*

The comment is acknowledged and based on previous feedback and the site walk we believe the addition of the mitigation for the disturbance in addition to creating a gravel wetland in an area currently serving as maintained lawn will serve as a benefit to the downstream wetland.

7. *Applicant shall apply for Freshwater Wetlands, Water Bodies, and Watercourses Permit in accordance with Chapter 179 - Freshwater Wetlands, Water Bodies and Watercourses.*

It is our understanding that a wetland permit request is made to the Planning Board as part of the site plan review process, and there is not a separate permit to be submitted. As part of our next submission a narrative in support of the issuance of a wetland permit will be provided.

8. *Applicant shall provide a current Cortlandt Consolidated Water District approval for the connection to the existing water district.*

Our office has previously reached out to the Town regarding the water service connection for the existing residence and has received ambiguous information. We will continue to reach out to better understand the existing water service connection.

9. *Any proposed retaining walls will need to have the design completed and be submitted to Town's Planning Board Engineer for review and approval.*

Once the Planning Board opines on the updated layout for the project the owner will submit the required retaining wall calculations.

10. *Provide visual material representing the contemplated retaining wall color, texture, and stone size for Planning Board consideration.*

As the project architectural plans are progressed the wall color, texture, and stone size of the retaining walls will be coordinated. Once selected, visual material representing the contemplated retaining wall color, texture, and stone size will be provided for consideration.

11. *Provide a lighting plan in accordance with Town Standards.*

A lighting plan has been provided as part of the project drawing set.

12. *Provide truck maneuvering plans for ladder trucks, refuse vehicles, and largest anticipated vehicle patronizing the facility*

A vehicle maneuvering plan has been provided as part of the project drawing set.

13. *Provide profile of the proposed access drive along Ferris Court.*

A driveway profile of the proposed connection to Memorial Drive has been provided as part of the project drawing set.

14. *Westchester County of Department of Health (WCDOH) Approval for Subsurface Sewage Disposal System (SSDS), existing SSDS abandonment, and water service will be required.*

The WCDOH does not have jurisdiction over the water service connection. With respect to the review and approval of the OWTS, testing with WCDOH is complete and the testing results have been added to the plan. We would respectfully request WCDOH approval be a condition of site plan approval.

15. *Jurisdictional fire department supporting the project site should be consulted related to the necessity of hydrants around the building*

There is an existing fire hydrant adjacent to the proposed project in Ferris Lane that is proposed to remain. It should also be noted there is a second fire hydrant in Memorial Drive in vicinity to the entrance to the site. It is currently the applicant's intention to only bring the necessary water and fire service into the building.

16. *The Applicant was asked at our pre-application meeting to consult with the NYSDOT to discuss the removal of the access drive and parking area within the Albany Post Road Right-of-Way adjacent to the site. What is the status of these discussions.*

The primary access point to the proposed project has shifted to connect to Memorial Drive through adjacent Town property. Ferris Court, a town right of way that serves multiple properties, will remain in its current condition with no alterations contemplated as part of this project.

Plans

1. *Sheet OP-1 - Provide the number of stories for the proposed building, as well as overall square footage.*

The applicant is currently working on developing the architectural drawings and once developed will provide the number of stories, building height and other relevant

architectural details. The overall square footage has been provided on the project drawings.

2. *Sheet OP-1 - Will the reconstruction of Ferris Court impact other users? If so, how will this be mitigated.*

The primary means of access to the proposed project site has been revised to connect to Memorial Drive through the adjacent Town property. Ferris Court will not need to be reconstructed and is proposed to remain in its current condition so as not to impact other users.

3. *Sheet OP-1 - The Applicant will need to upgrade the roadway (Ferris Court and building access drive) to meet the requirements of a fire apparatus access road which entails a pavement width of 26-ft. This will impact all site plan sheets and SWPPP calculations.*

Ferris Court is no longer contemplated to be the primary means of access to the project site. Fire apparatuses' primary means of accessing the project site will be by an access drive connection to Memorial Drive. The access drive is proposed to be 26' wide as shown on the project drawings and vehicle maneuvering plans have been provided.

4. *Sheet EX-1 - Rectify removal of septic tank and cesspool notes to reflect in accordance with WCDOH, not PCDOH.*

The requested plan change has been made as requested.

5. *Sheet EX-1 - Include all trees to be removed on this plan. For example, a 26-inch tree is not shown to be removed, but is located within the proposed driveway.*

The owner is currently working with an arborist to inventory all onsite trees as requested the Town of Cortlandt. Tree information will be provided on our next submission.

6. *Sheet EX-1: Provide limits of disturbance on this Sheet.*

The limits of disturbance have been provided on the existing conditions plan as requested.

7. *Sheet EX-1 - Existing water line is referenced as a private water main. It is a Town of Cortlandt water line and should be denoted as such. Rectify on other plan sheets.*

The existing water line in Ferris Court has been updated to note it is a Town of Cortlandt water line.

8. *Sheet SP-1 - Provide Landscaping in accordance with Town Standards.*

Proposed landscaping has been provided in accordance with Town standards.

9. *Sheet SP-1 -Provide soil restoration requirements on this Sheet as outlined in the SWPPP. Identify all areas of soil restoration.*

A soil restoration table has been added to the project drawings as requested. A note has been added to the Erosion Control Plan indicating all areas of proposed disturbance not being covered with hardscape shall undergo soil restoration.

10. *Sheet SP-1 - Provide signage Location for the ADA parking space and access aisle.*

Signage locations for the ADA parking space and access aisle have been provided.

11. *Sheet SP-1 -Provide a stop bar and stop sign at the end of the proposed driveway to prevent conflicts with the shared access to Albany Post Road.*

A stop bar has been added to at the end of the proposed driveway where it connects to Memorial Drive.

12. *Sheet SP-1 - Provide a fence or guardrail, minimum 42-inches high along the top of the retaining wall.*

Ferris Court is no longer contemplated to be the primary means of access to the project site. As such the large retaining walls on either side of the previously proposed road are no longer being contemplated and will not require guiderails.

13. *Sheet SP-1 - Provide radii for the new access along Ferris Court and proposed access drive around the Building.*

Access drive radii to Memorial Drive and around the building have been added to the project drawings.

14. *Sheet SP-1 - Provide signage at the face of the Building indicating no parking within the striped area*

Signage has been provided around the building indicating no parking.

15. *Sheet SP-1 - Show the building ingress and egress Locations.*

The applicant is currently working on developing the architectural drawings and building ingress and egress locations will be provided with a subsequent submission.

16. *Sheet SP-1 - Provide a curb along the eastern edge of the proposed driveway along Ferris Court to direct runoff into catch basins. .*

The primary means of access to the proposed project site has been revised to connect to Memorial Drive through the adjacent Town property.

17. *Sheet SP-1 - Consider substituting Landscaping or grass adjacent to the storage facility in Lieu of striping in some areas to break up the monotony of asphalt.*

As the architecture for the proposed building is developed opportunities to break up the monotony of the asphalt will be explored once the circulation and access points of the building have been established.

18. *Sheet SP-1 - Provide for snow storage on-site and along Ferris Road. The reconstruction of Ferris Road stretches over 300-feet and snow storage will be necessary.*

Areas for snow storage have been indicated on the project plans.

19. *Sheet - SP-1 - Provide for guiderails either along Ferris Court due to the elevation change between the top of retaining wall and adjoining grades.*

The primary access point to the proposed project has been relocated to Memorial Drive through adjacent Town property. Ferris Court will remain in its current condition with no modifications contemplated as part of this project.

20. *Sheet SP-2 - The actual Limit of disturbance associated with the western retaining wall along Ferris Court is not viable to allow for the construction of the retaining walls (some Locations greater than 10-ft in height) It appears a temporary construction easement will be required from the adjacent property owner to allow the construction to proceed, and a permanent easement will be necessary for future maintenance.*

The primary access point to the proposed project has shifted to connect to Memorial Drive through adjacent Town property. Ferris Court will remain in its current condition with no alterations contemplated as part of this project.

21. *Sheet SP-2 - ACOE should opine on the type of pipe to replace the existing 36-inch diameter CMP, as they prefer a bottomless culvert.*

The primary access point to the proposed project has shifted to connect to Memorial Drive through adjacent Town property. Ferris Court will remain in its current condition with no modifications contemplated as part of this project.

22. *Sheet SP-2 - Please provide the following notes.*

- a. *The applicant is aware that the disturbed areas shall be 100% stabilized and planted prior to the issuance of a Certificate of Occupancy.*
- b. *The applicant shall submit an as-built foundation survey to the Town of Cortlandt prior to framing.*
- c. *Prior to the backfilling of any storm water best management practice, DOTS-Engineering shall be notified to perform an inspection.*
- d. *ALL proposed import fill must be tested and certified as unrestricted, suitable for residential use in accordance with Town Policy. Certification must be provided by a Licensed professional ALL certifications shall be addressed to Town's Planning Board Engineer. ALL soil analytics and reports will be forwarded to the Town's Planning Board Engineer for review and approval*
- e. *Prior to the issuance of the Certificate of Occupancy (C.O.), the Town will require a certification from a NYS Engineer that the completed site work and drainage improvements will not cause an adverse impact to adjoining or downstream properties*
- f. *Backflow prevention devices shall be designed and installed in accordance with University of Southern California List of Approved Backflow Prevention Devices, NYSDOH Guidelines for Designing Backflow Prevention Assembly Installations, and Building Code*

The above requested notes have been added to the project plans on Drawing SP-2.

23. *Sheet SP-2 - Provide finish floor elevations*

The applicant is currently working on developing the architectural drawings and will include them and elevations in a subsequent submission.

24. *Sheet SP-2 - Stormwater planters on plan.*

- a. *Provide top elevation*

Top elevations of the stormwater planters have been provided on the Stormwater Planter Detail on drawing D-2.

- b. *Provide ABS drain elevation.*

Elevations for the proposed underdrain have been provided as requested.

- c. *Provide inverts of perforated under drain.*

Inverts of the perforated underdrain in the stormwater planters have been provided on the Stormwater Planter Detail on drawing D-2.

- d. *Provide height of planter walls.*

Planter wall elevations have been provided on the Stormwater Planter Detail on drawing D-2.

- e. *Identify the points of roof leader discharge into the planters.*

The locations for roof leaders will be provided in a subsequent submission as the architectural drawings and internal program of the proposed building develop

- f. *Stormwater planters depicted on the plan are 60-ft long by 11-ft wide with a area of 660 sf per planter. This is less than minimum required in Appendix H of the SWPPP. Adequate area is also available to increase the size of the planter to provide area greater than the minimum RV.*

Per the project plans the interior dimensions of the two planters are 62' long by 11' wide this results in each planter having an area of 682sf per planter. Both planters combined would result in an area of 1,364sf which is greater than required. For this submission the planter area has not been increased. We will review the planter size versus necessary access area for maintenance with the Town Engineer to determine if the planters should be expanded. It is noted the RRv minimum requirement is being met with the current design.

- g. *Add a note on the plan indicating 15,000 sf of roof area shall be diverted to each planter.*

A note has been added to drawing SP-2 indicating 15,000 sf of roof area shall be diverted to each planter.

- h. *SWPPP identifies a 12-inch HDPE outlet for each planter. This should be depicted on the plan along with invert elevation*

The requested information has been added to the project drawing.

25. *Sheet SP-2 - Provide additional spot elevations on the plan to show proper drainage is maintained and ADA accessible pathways are do not exceed allowable slopes.*

Additional spot elevations have been added to the grading plan and demonstrate the site will maintain ADA accessible pathways.

26. *Sheet SP-2 - Provide a 12' wide maintenance access to the gravel wetland outlet structure*

Maintenance access has been provided to the gravel wetland outlet structure and illustrated on the project drawings.

27. *Sheet SP-2 - Provide a 25' wide vegetative pond buffer from the peak water surface with landscaping.*

A 25' wide vegetative pond buffer has been provided around the proposed gravel wetland and shown on the project drawings on Drawing SP-1.

28. *Sheet SP-2 - Proposed grading along Ferris Court will result in 10-ft of additional fill over the existing water line (for a total of 14-ft of cover) for approximately 230-ft and then reduce down to an additional 2-ft of cover over the next 100-ft of watermain (ending at 6-ft of cover) This additional fill will adversely impact the water main, for future maintenance. Therefore, replacement of the existing water line will be required,*

necessitating WCDOH approval. If the water line is required to cross under the culvert or stream it will need to be sleeved. Placement of new waterline should also consider type of retaining wall design, as the Town will not allow the placement of geogrid over the water line.

The primary access point to the proposed project has shifted to connect to Memorial Drive through adjacent Town property. Ferris Court will remain in its current condition with no modifications contemplated as part of this project.

29. *Sheet SP-2 - Provide for a stabilized outlet extending from the gravel wetland.*

Rip Rap has been provided at the outlet of the gravel wetland and is located on a portion of the site with relatively flat topography allowing for the establishment of sheet flow. In addition an outlet protection sizing was performed for the flow out of the gravel wetland

30. *Sheet SP-2 - Provide top of wall and bottom of wall elevations.*

Top of wall and bottom of wall elevations have been provided.

31. *Sheet SP-2 - Provide pipe sizing on sheet SP-2 and verify that adequate cover height is provided on all drainage pipes.*

Pipe sizes have been noted on the project plans and rims and inverts added to demonstrate adequate cover is provided, particularly in vehicular areas. Pipe sizing calculations have been provided as requested in the project SWPPP.

32. *Sheet SP-2 - Fire service shall be CL Class 54 DIP. A service saddle, with a pressure rating of 200 psi and tested at 150% of water line pressure, shall be required. Provide a detail for the water service connections.*

A callout has been added to the project plans noting that fire service line is to be CL Class 54 DIP. A service saddle detail and testing notes have been added to the project detail sheets.

33. *Backflow preventors shall be provided on the potable water and fire supply.*

A note has been added to Drawing SP-2 indicating that Backflow Preventers are required and subject to WCDOH approval.

34. *Sheet SP-3 - Provide double row of silt fencing along the limits of disturbance associated with the construction of the retaining walls to ensure sediment laden runoff does not enter the wetland.*

The primary access point to the proposed project has shifted to connect to Memorial Drive through adjacent Town property. Ferris Court will remain in its current condition with no alterations contemplated as part of this project. Silt fence will be provided downslope of disturbed areas.

35. *Sheet SP-3 - Remove stockpile area from the associated Town wetland buffer.*

The stockpile areas has been relocated outside of the associated town wetland buffer.

36. *Sheet SP-3 - Label inlet protection at inlet grates.*

The drainage inlet protection has been labeled on the project plans.

37. *Sheet SP-3 - Remove the callout for the concrete washout area.*

The callout for the concrete washout area has been adjusted to indicate the concrete washout

38. *Sheet SP-3 - The concrete washout detail indicates 100' separation from swales, inlets, and other surfaced waters. The proposed location does not meet these requirements. Relocate the concrete washout or provide an alternative design.*

The concrete washout has been relocated so it maintains 100' separation to all downstream swales and inlets.

39. *Sheet SP-3 - Provide an erosion and sediment construction sequencing schedule for the proposed development. Include in the construction sequence how post developed stormwater management practices will be protected during construction.*

A construction sequence has been added to the erosion and sediment control plan as requested.

40. *Sheet D-1 - The retaining wall detail provided on sheet D-1 shows a maximum height of 6'. It appears wall heights max exceed 10' in some Locations. Provide a detail for a retaining wall to coinciding with the maximum height.*

The retaining wall detail has been updated to coincide with the maximum height of the proposed walls.

41. *Sheet D-1 - Revise note 9 of Erosion & Sediment Control notes to include slopes in excess of 3H:1V.*

Note 9 of Erosion & Sediment Control notes has been revised to include slopes in excess of 3H:1V.

42. *Sheet D-1 - Provide ADA signage detail.*

An ADA signage detail has been provided.

43. *Sheet D-1 - Expand the maintenance criteria to include a maintenance threshold for sediment accumulation for the grass swales, drainage inlets, and subsurface drainage.*

Maintenance criteria has been expanded to include grass swales, drainage inlets, and subsurface drainage.

44. *Sheet D-1 - Increase the subbase to a minimum 12-inches to support Ladder trucks.*

The subbase has been increased to a minimum of 12-inches to support Ladder trucks.

45. *Sheet D-2 - Provide planter elevations.*

Planter elevations have been provided.

46. *Sheet D-2 - Post development calculations indicate 12-inch diameter HDPE outlet pipe at each planter. Detail depicts 6-inch outlet pipe.*

The plans and drawings have been updated to show the 6 inch outlet pipe for each planter will be collected in a 12 in header pipe for both planters.

47. *Sheet D-2 - Provide dimensions for the outlet weir of the gravel wetland.*

Dimensions for the outlet weir of the gravel wetland have been provided.

48. *Sheet D-2 - Provide specifications on the filter media proposed in both the gravel wetland and the stormwater planter.*

Specifications for the filter media for the gravel wetland and stormwater planter have been provided as requested.

49. *Sheet D-2: The underdrain associated with the gravel wetland is Lower than the adjoining outlet grade. How does the gravel wetland dewater?*

The underdrain provided in the gravel wetland was shown consistent with the detail in the Design Manual Figure 6-10. During regular operation of the gravel wetland, the underdrain is provided to collect flow of water flowing through the gravel filter and transmit it to the outlet structure. Due to the relatively flat nature of the project site, a maintenance outlet for the underdrain is not feasible as it cannot daylight within the bounds of the property. Notes have been added to the gravel wetland detail outlining the use of a pump to dewater the gravel wetland when required for maintenance purposes.

50. *Sheet D-2 - Provide 3" of stone below the distribution drain per the NYS DEC SWDM and identify the type of stone used.*

Per table 6.7 Stormwater Wetland Design Specifications and Figure 6.10 Gravel Wetlands of the Design Manual the distribution drain invert is to be set 2" above the bottom of stone. If 3" is required by the Town it can be revised for the next submission.

51. *Sheet D-2 - Consider a Lightweight fiberglass recess grate for outlet control structure for ease of removal for maintenance.*

The outlet structure detail has been updated to use aluminum bar grating. This offers a lightweight solution we believe to be more durable than the fiberglass tops.

52. *Sheet D-2 - Provide a grate at the top of the riser pipe for the gravel wetland.*

A grate has been added to the riser pipe as requested.

53. *Sheet D-2 - Provide a detail for the proposed energy dissipators at the wetland inlets and the at the emergency spillway*

A detail for the proposed energy dissipator has been provided.

54. *Sheet D-2 - Provide details for the proposed cofferdam.*

As Ferris Court is proposed to remain in its current condition and as such a cofferdam is no longer required for this project.

55. *Sheet D-2 - Provide details for all water service connections including materials.*

A water service connection detail has been provided.

56. *Sheet D-2 - Provide water Line offset details (horizontally and vertical).*

Water line offset details have been provided.

57. *Sheet D-2 - Provide Town standard notes for water Lines, including pressure testing and disinfection requirements*

Water line testing and disinfection notes have been added to the project plans.

SWPPP

1. *Section 9.2 states "Channel Protection for redevelopment activities is not required if there is 0% change to hydrology that increases the discharge rate and volume from the project site." As there is an increase in impervious at the site, there is an increase in volume discharged. Provide calculations showing how 24-hour detention is provided.*

The low flow opening for the gravel wetland outlet structure has been reduced to the minimum size of 3" to maximize the retention time within the basin. Per the stormwater design manual, the minimum orifice size is 3".

2. *The SWPPP states sizing calculations for the stormwater conveyance system shall be provided in the final project SWPPP. The final SWPPP shall be provided for review prior to planning board approval.*

Pipe sizing calculations have been provided as requested.

3. *Provide justification within the SWPPP, Limiting the proposed design of the stormwater planters to the minimum Rv. Please note adequate area adjacent to the southern portion the building exists for expanding the size of the planters.*

Our office will review the stormwater planter design with the Town Engineer to determine the best balance for maximizing the planter size with maintaining a maintenance route. The planters have currently been sized correctly for the tributary area which is also the maximum contributing area of 15,000 s.f.

4. *Provide soil descriptions for the soil boundaries shown on the watershed maps for pre-development and post-development watershed maps.*

The requested soil descriptions have been shown on the pre-development and post development drainage maps as requested.

5. *Provide time of concentration paths for the pre-development and post-development watershed maps.*

Time of concentrations have been shown the pre- and post-development drainage maps as requested.

6. *The watershed maps include areas outside the Limit of the topographic survey. Provide justification for the shown watershed boundaries. Include any information used such as GIS topo or Ortho imagery.*

The sources of the topography have been shown on the drainage maps. Offsite topography was obtained from Westchester County GIS.

7. *Discrepancies between the plans and HydroCAD Model are present. For example, the stormwater planter detail on sheet D-2 states there will be 12" of ponding depth with 4" of emergency overflow. The HydroCAD model uses 18" of ponding. Revise the HydroCAD model for consistency with the plan*

The plans and SWPPP have been reviewed for consistency and updated as necessary.

8. *Provide the results of any soil testing performed at the property.*

Preliminary soil testing results have been added to the project drawing as requested.

9. *Provide an impermeable liner between the bottom of the gravel wetland and the seasonal high groundwater table*

The requested impermeable liner has been added to the project drawings as requested.

10. *Per Section 6.2.2 of the NYS DEC SWDM, provide a maintenance outlet at the bottom of stone elevation to completely drain the wetland within 48 hours.*

As noted above due to onsite topography it is not possible to create a gravity drain to dewater the gravel wetland for maintenance. A pump can be set in the outlet structure to

dewater when required. Notes have been added to the project drawings regarding the necessary pump requirements to ensure the gravel wetland can be dewatered in 48 hours.

11. *Provide narrative within the SWPPP discussing how the proposed W-5 meets the treatment requirements of 6-34 of the NYS DEC SWDM manual. NYS DEC SWDM have been met.*

The requested narrative has been added to the project SWPPP.

12. *Provide sediment trap sizing calculations, as the site plans are proposing a sediment trap.*

Sediment trap sizing calculations have been added to SWPPP as requested.

13. *Further review of the SWPPP will take place upon receipt of responses in order to conclude our comments*

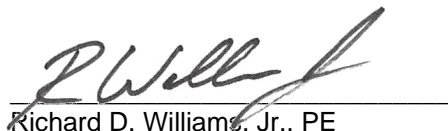
It is acknowledged that additional comments may be forthcoming.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:

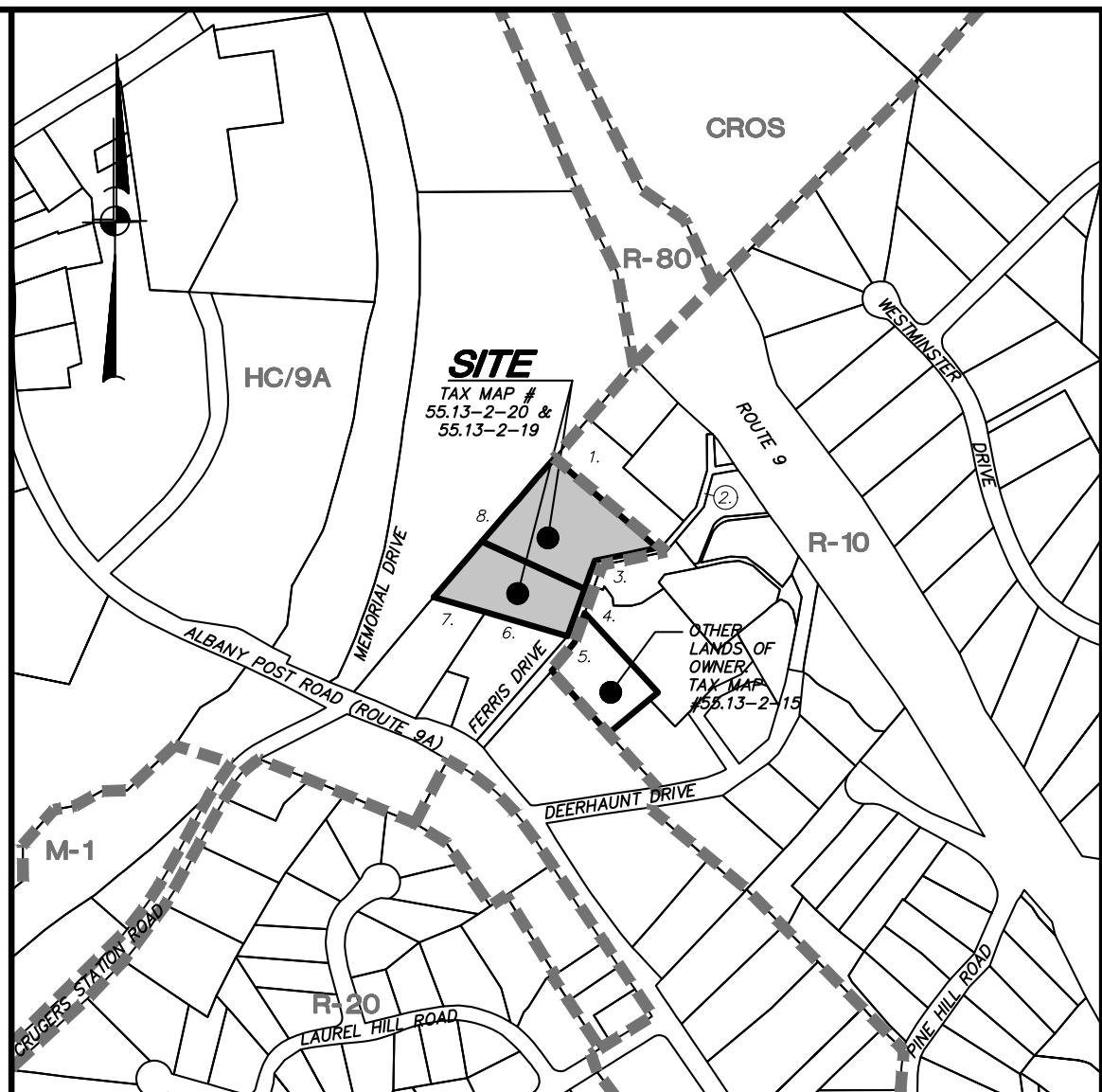
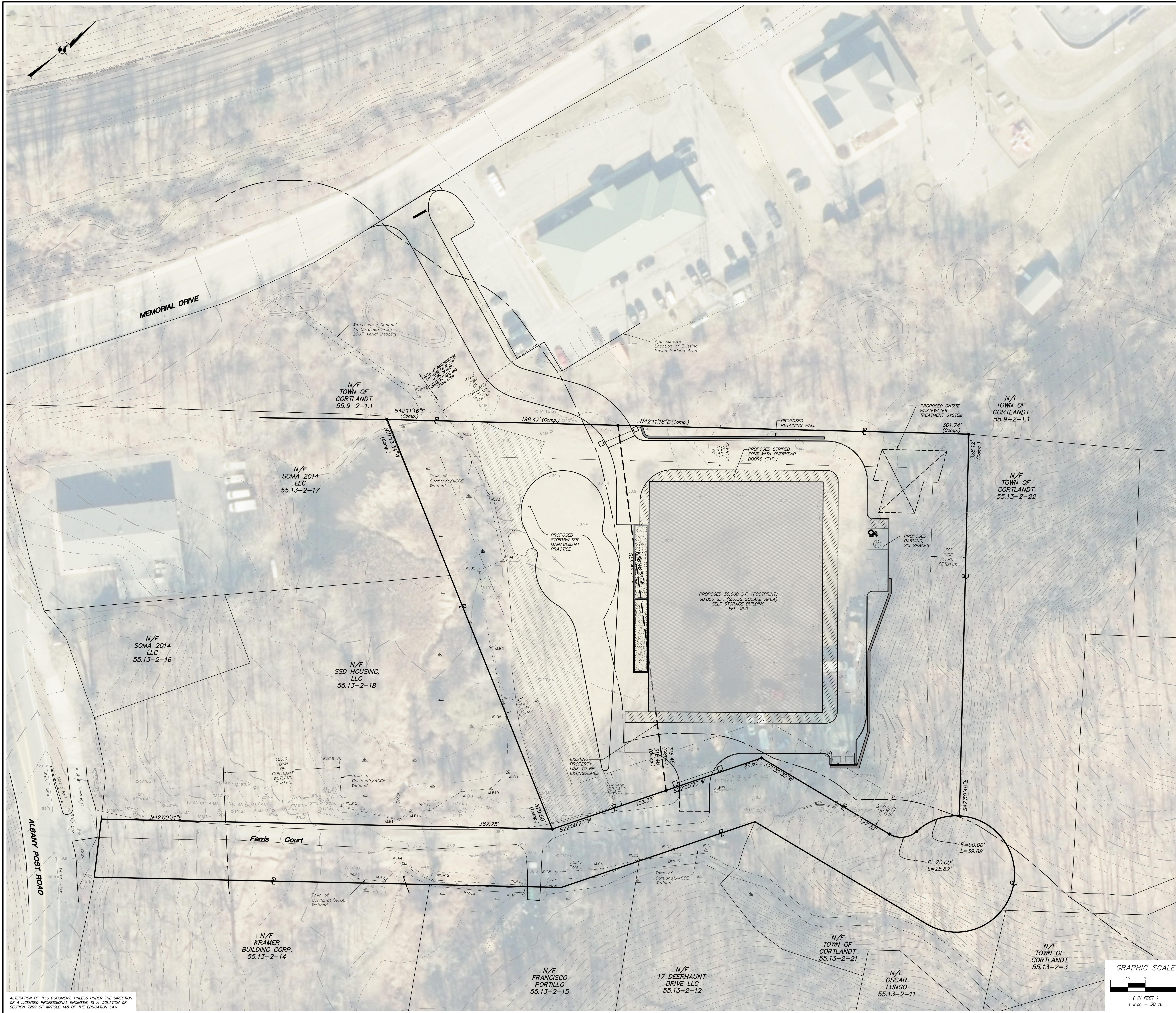

Richard D. Williams, Jr., PE
Senior Principal Engineer

RDW/kfl

Enclosures

cc: Tim Fisher via email
Greg O'Brien via email
Brian Sinsabaugh via email

Insite File No. 22240.100



LOCATION MAP SCALE: 1" = 500'±

OWNER/APPLICANT:
DHP Group
446 Bedford Road
Pleasantville, NY 10570

SITE DATA:
Zone: HC-9A
Tax Map No.: 55.13-2-20 (1.2 ACRES ±)
55.13-2-19 (2.0 ACRES ±)
Total Acreage 3.2 AC

- ADJACENT PROPERTIES**
1. Town of Cortlandt 55.13-2-22
 2. Town of Cortlandt 55.13-2-3
 3. Town of Cortlandt 55.13-2-21
 4. 17 Deerhaunt Drive LLC 55.13-2-12
 5. Portillo Francisco 55.13-2-15
 6. SSD HOUSING, LLC 55.13-2-18
 7. SOMA 2014 LLC 55.13-2-17
 8. Town of Cortlandt 55.9-2-1.1

- GENERAL NOTES:**
1. Property line, topography wetland boundary, and existing features shown hereon taken from survey of property prepared by Insite Engineering, Surveying, and Landscape Architecture, P.C. dated July 11, 2024. Additional topography outside of property taken from Westchester GIS.
 2. Wetland boundaries taken hereon were from field delineation by Jim Bates on June 8, 2022 and updated May 23, 2024.
 3. Aerial Orthophoto shown hereon taken from Westchester County GIS.

LEGEND

	EXISTING PROPERTY LINE
	EXISTING BUILDING TO BE REMOVED
	EXISTING STONE & MASONRY RETAINING WALL
	EXISTING STONE RETAINING WALL
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING WETLAND BUFFER
	PROPOSED CONCRETE CURB
	PROPOSED SEPTIC

SUMMARY OF WETLAND AND BUFFER DISTURBANCE TABLE

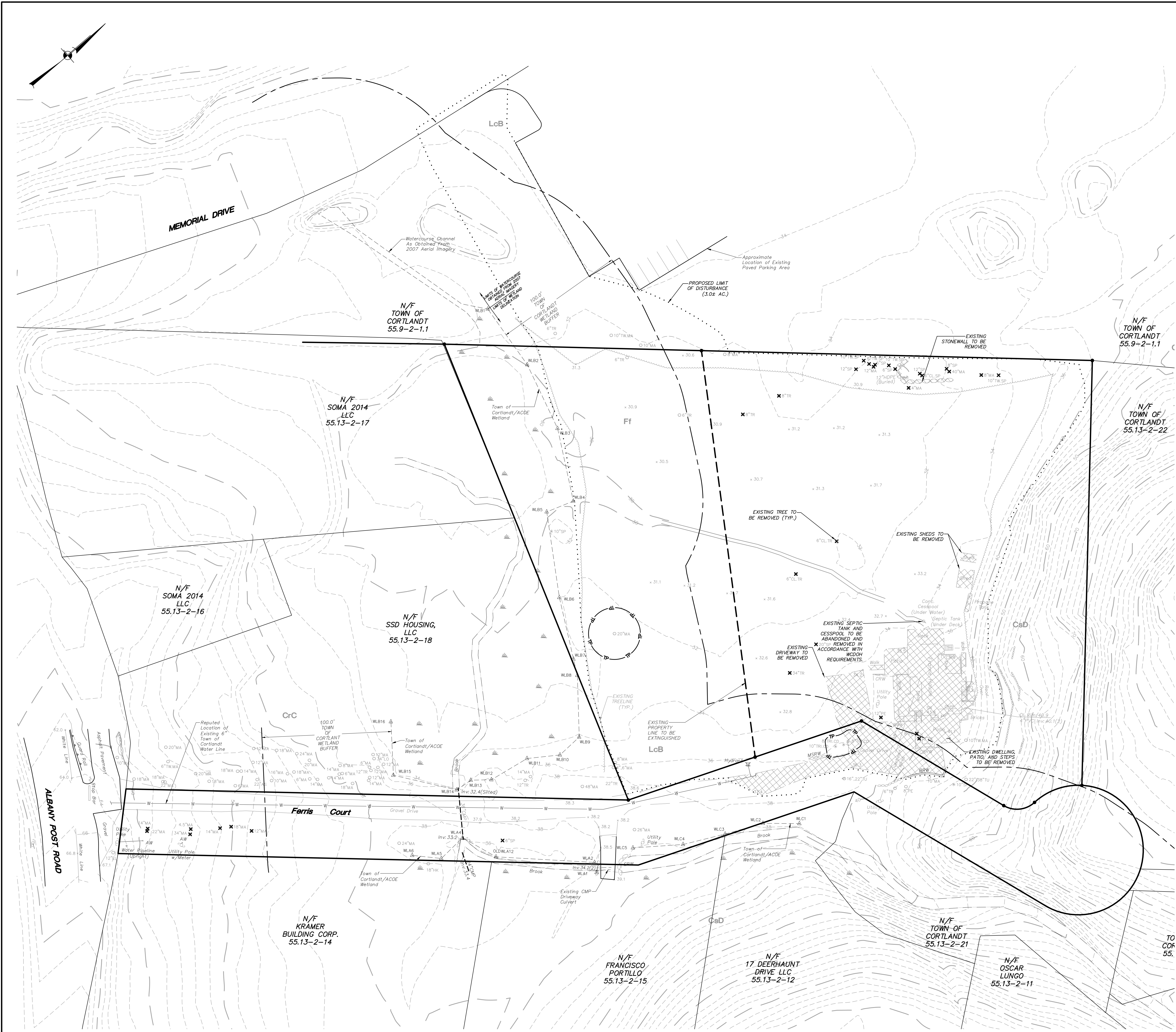
	ONSITE	OFFSITE
WETLAND	Total Disturbance: 0 sf	0 sf
	Impervious Cover: 0 sf	0 sf
BUFFER	Total Disturbance: 36,100 sf	17,180 sf
	Impervious Cover: 2,510 sf	5,610 sf



2007 AERIAL IMAGERY SHOWING LIMIT OF OFFSITE WATERCOURSE
SCALE: 1" = 60'

1	5-27-25	REVISED PER TOWN COMMENTS	JUS
NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
3 Garrett Place Cortlandt, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com			
PROJECT: JAM STORAGE, LLC 2059 ALBANY POST ROAD, TOWN OF CORTLANDT, NY 10567			
DRAWING: OVERALL PLAN			
PROJECT NUMBER	22240.100	PROJECT MANAGER	R.D.W.
DATE	11-20-24	DRAWN BY	D.W.M.
SCALE	1" = 30'	CHECKED BY	S.M.R.
DRAWING NO.			OP-1
LICENSE EXP. DATE: 06-30-2025 FIRM CERT. NO. 0021283			SHEET 1

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

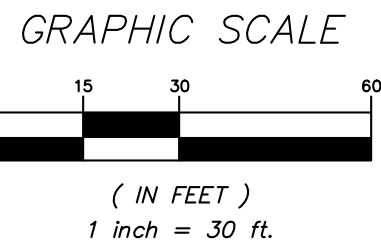


LEGEND

- EXISTING PROPERTY LINE
- EXISTING BUILDING TO BE REMOVED
- EXISTING STONE & MASONRY RETAINING WALL
- EXISTING STONE RETAINING WALL
- EXISTING OVERHEAD WIRES
- EXISTING UTILITY POLE w/ guy & overhead wires
- EXISTING UNDERGROUND DRAINAGE PIPE
- EXISTING CATCH BASIN
- EXISTING EDGE OF WATER
- EXISTING WETLAND
- EXISTING WETLAND FLAG (Survey Located)
- EXISTING WETLAND BUFFER
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING SPOT GRADE
- EXISTING TREELINE
- EXISTING EVERGREEN TREE
- EXISTING DECIDUOUS TREE
- EXISTING TREE TO BE REMOVED
- EXISTING FEATURE TO BE REMOVED

TREE LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- ASH
- CEDAR
- CHERRY
- ELM
- HICKORY
- HAWKWOOD
- LOCUST
- MAPLE
- OAK
- PEAR
- SPRUCE
- UNKNOWN TREE
- TULIP
- CLUMP
- TW



1	5-27-25	REVISED PER TOWN COMMENTS	JUS
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

PROJECT: **JAM STORAGE, LLC**
2059 ALBANY POST ROAD, TOWN OF CORTLANDT, NY 10567

DRAWING: **EXISTING CONDITIONS AND REMOVALS PLAN**

PROJECT NUMBER: 22240.100 PROJECT MANAGER: R.D.W.
DATE: 11-20-24 DRAWN BY: C.M.S.
SCALE: 1" = 30' CHECKED BY: S.M.R.

LICENSE EXP. DATE: 06-30-2025
FIRM CERT. NO. 0021283

STATE OF NEW YORK
RICHARD D. WILLIAMS
Professional Engineer
No. 135666

DRAWING NO. **EX-1** SHEET 2

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

HC/9A - HIGHWAY COMMERCIAL/MULTI-FAMILY ZONE REQUIREMENTS		
	REQUIRED/ PERMITTED	PROPOSED
Minimum Lot Area:	40,000 s.f.	3.2 AC
Minimum Lot Width:	200'	370'
Maximum Building Height:	2 1/2 stories or 35'	Less than 35'
Maximum Building Floor Area:	75,000 s.f.	60,000 s.f.
Minimum Front Yard:	30'	44'
Minimum Side Yard:	30'	115'
Minimum Rear Yard:	30'	39'
Maximum Building Coverage:	25%	22%
Minimum Landscape Coverage:	35%	76%

ZONING NOTES:

1. Lot area, building coverage, & landscape coverage are based on total area of the 2 subject lots.
2. Landscaped coverage calculated from existing and proposed landscaped and vegetated areas.

PARKING SUMMARY

1 per 10,000 s.f. of Gross Floor Area	= 6 REQUIRED
	= 6 PROVIDED

1. Approximately 3 parking spaces are taken up from the northern property to accommodate the proposed driveway access to the property. To maintain the northern property's parking spaces, 3 parking spaces are proposed before the access gate.

SEED MIXES

SEED MIX #1 FOR ALL DISTURBED AREAS NOT IMPROVED WITH SPECIFIED PAVEMENT, LANDSCAPING, OR SPECIFIED GROUND COVER (SEE SEEDING NOTE 3.1).

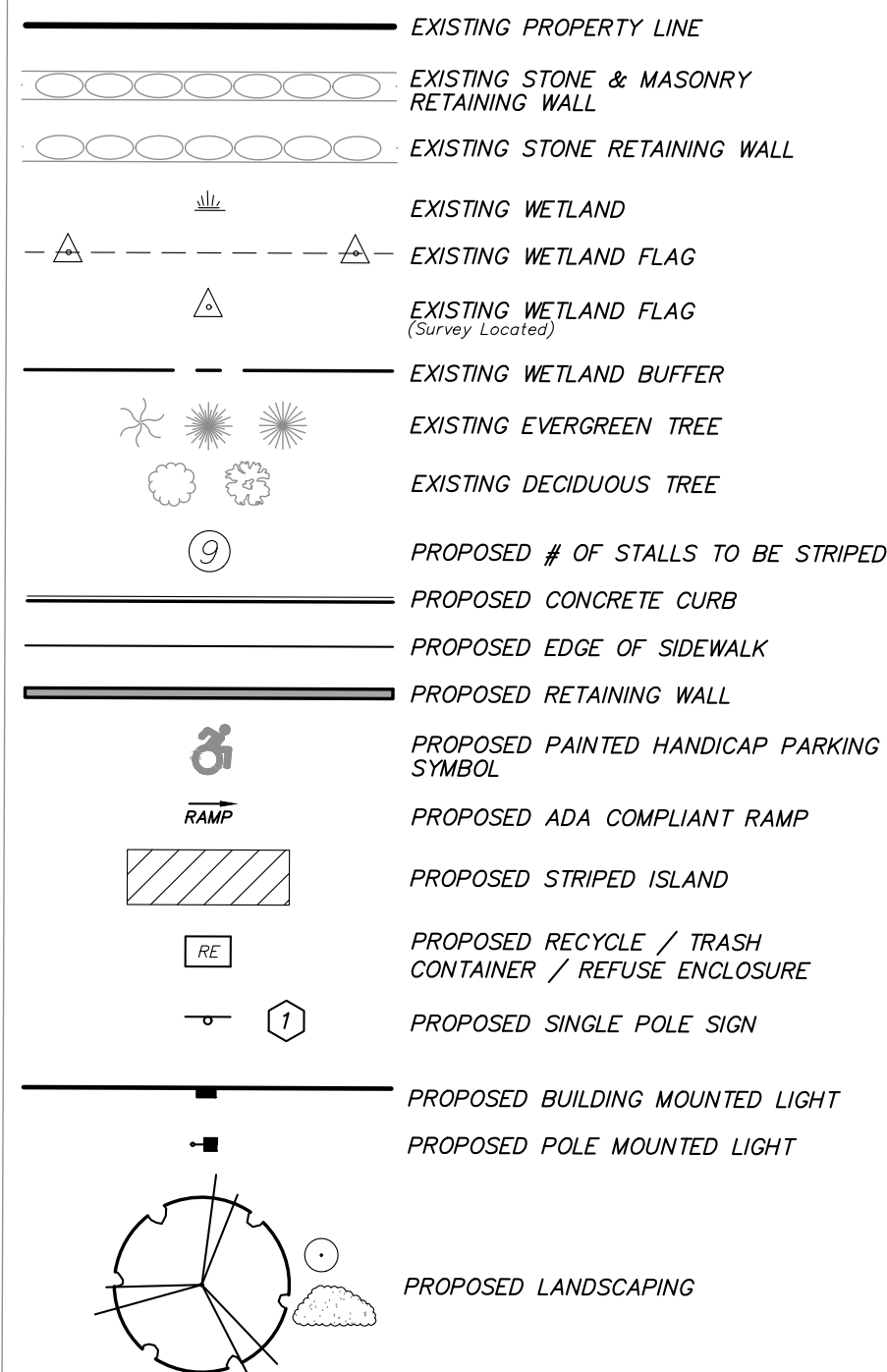
SEED MIX #2 RAIN GARDEN MIX (ERNMX-180) (SEE SEEDING NOTE 3.3).

SEED MIX #3 RIGHT OF WAY NATIVE WOODS MIX (ERNMX-132-1) (SEE SEEDING NOTE 3.4).

GENERAL SITE SEEDING NOTES:

1. All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
2. Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
 - select seed mixture per drawings and seeding notes.
 - fertilizer applied at the manufacturer's recommended rate using Lesco 10-0-18 (no phosphorus) fertilizer or equivalent.
 - mulch: soft hay or small grain straw applied at a rate of 90 lbs./1000 s.f. or 2 tons/acre, to be applied and anchored according August 2025.
 - If the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
3. The seed mixes as specified on these drawings are as follows:
 1. Seed Mix #1 for lawn areas, OWTs areas, mow strip along roads at a rate of 100 lbs. per acre:
 - Kentucky Bluegrass 20%
 - Creeping Red Fescue 40%
 - Perennial Ryegrass 20%
 - Annual Ryegrass 20%
 2. Seed Mix #2 for gravel wetland as shown on drawings at a rate of 20 lbs./acre. Shall be (ERNMX-180) Rain Garden Mix with a cover crop.
 3. Seed Mix #3 for wetland mitigation and disturbed woodland areas as shown on drawings at a rate of 30 lbs./acre. Shall be (ERNMX-132-1) Right of Way Native Woods Mix with annual ryegrass.

LEGEND



SIGN DATA TABLE

LOCATION NO.	TEXT	M.U.T.C.D. NUMBER	SIZE OF SIGN (s.f.)	DESCRIPTION
1*	NO PARKING HERE	R7-6-9	12" x 18"	Red on White
2	REAR DRIVE	NY R7-8**	12" x 18"	Green on White Blue Symbol
3	NO PARKING HERE	R7-8P	12" x 6"	Green on White
4	STOP	R7-1	12" x 18"	Red on White
		R1-1C	30" x 30"	White on Red

* NOTE: See NYS Fire Code Appendix D103.6.

** NOTE: New NYS Handicap symbol recognized only by NYS

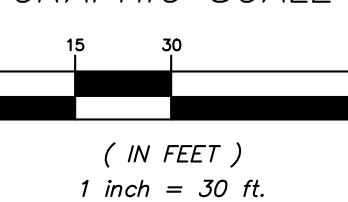
SITE PLANT SCHEDULE

SYMBOL	KEY	QTY.	BOTANICAL/COMMON NAME	SIZE	ROOT
SHADE TREES					
AR	2		Acer rubrum 'October Glory' / October Glory Red Maple	2 1/2" CAL.	B&B
FLOWERING TREES					
AC	4		Amelanchier canadensis / Shadblow Serviceberry	8"-10" CLUMP FORM	B&B
EVERGREEN TREES					
JV	5		Juniperus virginiana / Eastern Redcedar	7"-8" HT.	B&B
TG	6		Thuja occidentalis / Green Giant Arborvitae	8" HT.	B&B
SHRUBS					
CA	11		Ceanothus americanus / New Jersey Tea	18" HT.	#3 CONT.
HV	4		Hammamelis virginiana / Witchhazel	5 GAL.	CONT.
VA	10		Viburnum acerifolium / Mapleleaf Viburnum	24" HT.	CONT.
VC	8		Vaccinium corymbosum / Highbush Blueberry	3" HT.	B & B
PERENNIALS (STORMWATER PLANTERS)					
CG	170		Chelone glabra / White Turtlehead	2" PLUG	PLUG/18" O.C.
CL	170		Carex lurida / Lurid Sedge	2" PLUG	PLUG/18" O.C.
CP	170		Caltha palustris / Marsh Marigold	2" PLUG	PLUG/18" O.C.

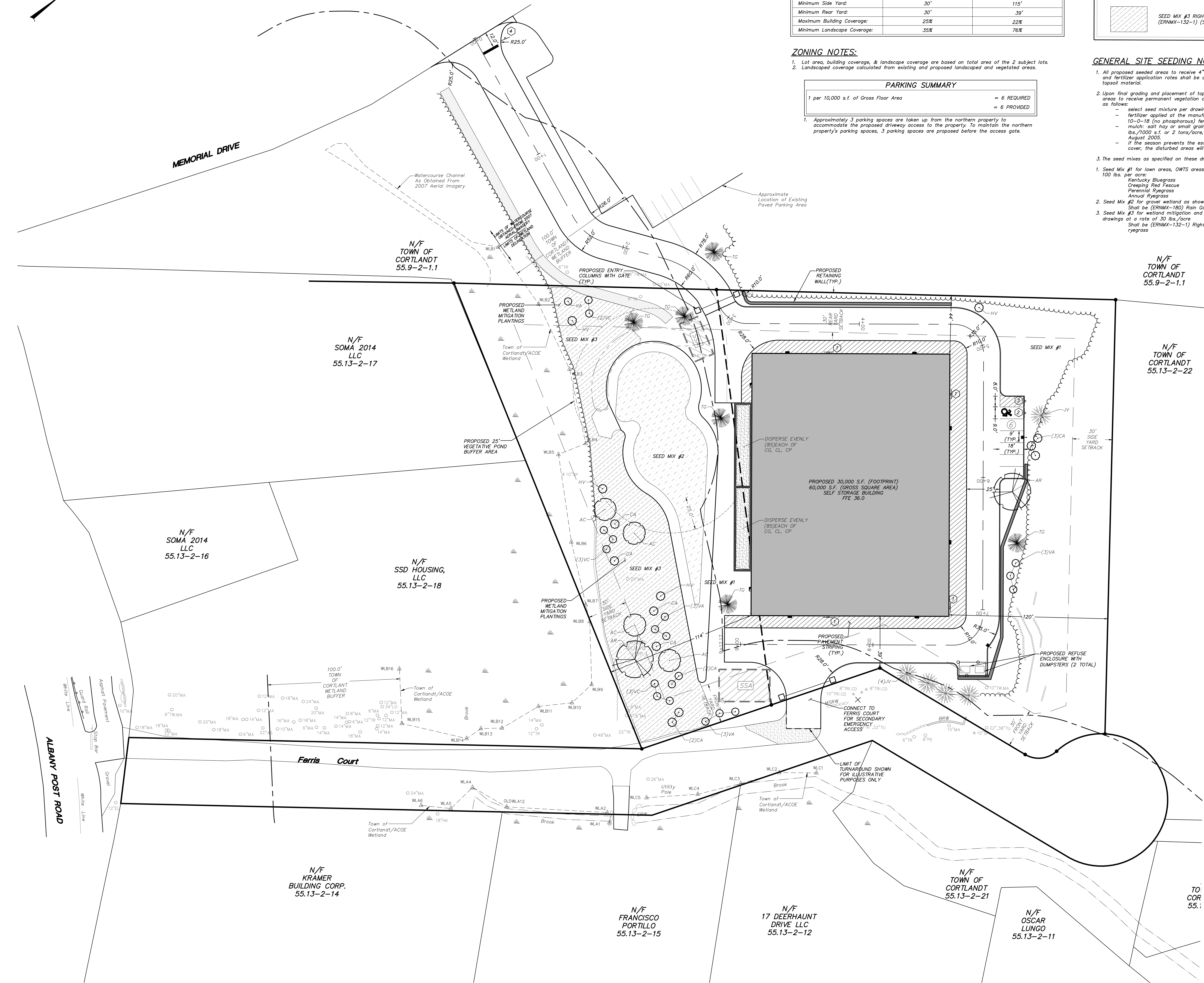
GENERAL PLANTING NOTES:

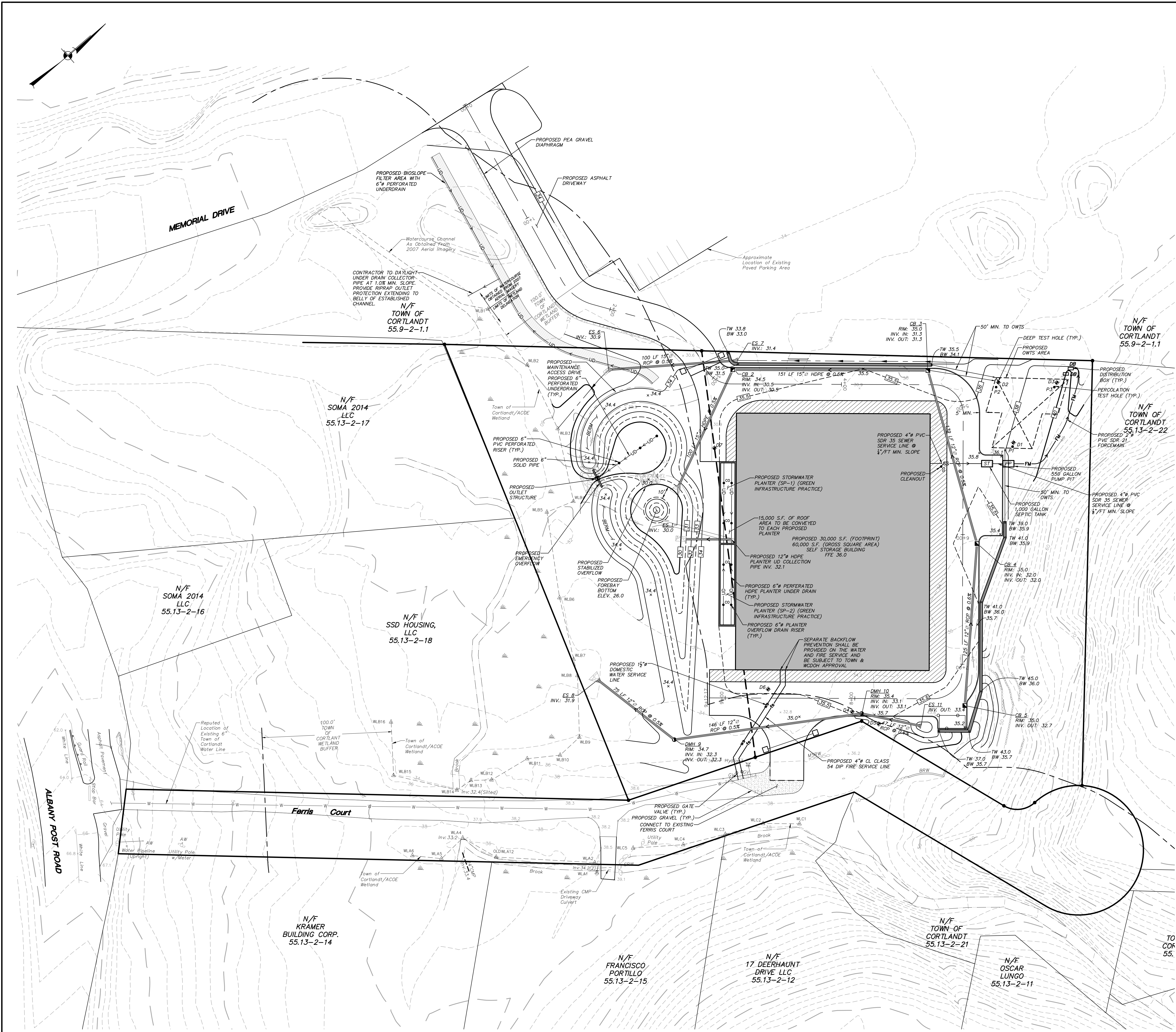
1. All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
2. Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
3. No fertilizer shall be added in stormwater basin plantings. Nutrient requirements to be met by incorporation of acceptable organic matter.
4. All plant material to be nursery grown.
5. Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
6. Plant material shall be taken from healthy nursery stock.
7. All plants shall be grown under climate conditions similar to those in the locality of the project.
8. Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
9. The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
10. Provide a 3" layer of shredded pine bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunk.
11. All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.

GRAPHIC SCALE



NO.	DATE	REVISION	COMMENTS	JWS	BY
1	5-27-25		REVISED PER TOWN COMMENTS		
<div> <div> INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C. </div> </div> <div> PROJECT: JAM STORAGE, LLC 2059 ALBANY POST ROAD, TOWN OF CORTLANDT, NY 10567 DRAWING: LAYOUT & LANDSCAPE PLAN </div> <div> PROJECT NUMBER: 22240.100 DATE: 9-4-24 SCALE: 1" = 30' </div> <div> PROJECT MANAGER: R.D.W. DRAWN BY: C.M.S. CHECKED BY: S.M.R. </div> <div> LICENSE EXP. DATE: 06-30-2025 FIRM CERT. NO. 0021263 DRAWING NO. SP-1 SHEET 3 OF 11 </div>					





LEGEND

- EXISTING PROPERTY LINE
- EXISTING STONE & MASONRY RETAINING WALL
- EXISTING STONE RETAINING WALL
- EXISTING WETLAND
- EXISTING WETLAND FLAG (Survey Located)
- EXISTING WETLAND BUFFER
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING SPOT GRADE
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED GRASS SWALE
- PROPOSED OWTS AREA
- PROPOSED CATCH BASIN
- PROPOSED END SECTION
- PROPOSED WATER GATE VALVE
- PROPOSED DRAINAGE PIPE
- PROPOSED SEWER FORCE MAIN
- PROPOSED SEWER SERVICE LINE
- PROPOSED FIRE SERVICE LINE
- PROPOSED DOMESTIC WATER SERVICE LINE
- PITCH TO DRAIN
- PROPOSED CLEAN OUT
- PROPOSED DISTRIBUTION BOX (DB)
- PROPOSED SEPTIC TANK
- PROPOSED PUMP PIT
- DEEP TEST HOLE
- PERCOLATION TEST HOLE

- TOWN OF CORTLANDT NOTES:**
- The applicant is aware that the disturbed areas shall be 100% stabilized and planted prior to the issuance of a Certificate of Occupancy.
 - The applicant shall submit an as-built foundation survey to the Town of Cortlandt prior to framing.
 - Prior to the backfilling of any stormwater best management practice, DOTS-Engineering shall be notified to perform an inspection.
 - All Proposed Import Fill must be tested and certified as unrestricted, suitable for residential use in accordance with Town Policy. Certification must be provided by a licensed professional. All certifications shall be addressed to Towns Planning Board Engineer. All soil analytics and reports for review and approval.
 - Prior to the issuance of the Certificate of occupancy (C.O.), the Town will require a certification from a NYS Engineer that the completed site work and drainage improvements will not cause adverse impact to adjoining or downstream properties.
 - Backflow prevention devices shall be designed and installed in accordance with University of Southern California List of Approved Backflow Prevention Devices, NYSDOH Guidelines for Designing Backflow Prevention Assembly Installations and Building Code.

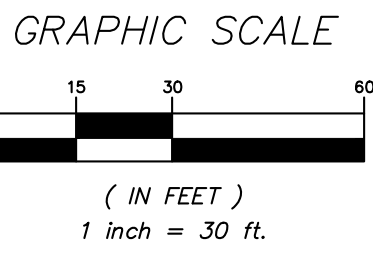
PERCOLATION TEST RESULTS:
PERCOLATION TESTS PERFORMED: 7-16-2024
PERCOLATION TESTS PERFORMED BY:
KYLE MOREAU (INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.)

P-1:	46 MIN./IN.
P-2:	48 MIN./IN.
P-3:	51 MIN./IN.

DEEP HOLE TEST RESULTS:
DEEP TESTS PERFORMED: 10-20-2023
DEEP TESTS PERFORMED BY:
TAYLOR BETZ (INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.)
DEEP TESTS WITNESSED BY: WAYNE SCHNEIDER (WCOCH)

D-1:	0"-6" 6"-36" 36"-48"+	TOPSOIL BROWN MEDIUM TO COARSE SANDY LOAM GREY MEDIUM SILTY SANDY LOAM W/ LARGE COBBLE GROUNDWATER @ 42"
D-2:	0"-6" 6"-30" 30"-64"+	TOPSOIL BROWN MEDIUM TO COARSE SANDY LOAM GREY MEDIUM SILTY SANDY LOAM W/ LARGE COBBLE GROUNDWATER @ 62"
D-3:	0"-6" 6"-30" 30"-90"+	TOPSOIL BROWN MEDIUM TO COARSE SANDY LOAM COMPACT FINE SANDY LOAM GROUNDWATER @ 60"
D-4:	0"-12" 12"-60"	ROAD BASE/TOPSOIL MEDIUM TO COARSE SAND GROUNDWATER @ 54"
D-5:	0"-6" 6"-84"	TOPSOIL MEDIUM TO COARSE SAND GROUNDWATER @ 66"
D-6:	0"-12" 12"-43"	BROWN/BLACK LOAMY SILT WITH GRAVEL & LARGE COBBLES GROUNDWATER @ 43"
D-7:	0"-16" 16"-60"	BROWN/BLACK LOAMY SILT WITH GRAVEL & LARGE COBBLES SEEPING @ 16" GROUNDWATER @ 60"

NOTE: NO GROUNDWATER, LEDGE ROCK OR MOTTLING OBSERVED UNLESS OTHERWISE NOTED.



1	5-27-25	REVISED PER TOWN COMMENTS	JUS
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Cortlandt, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT:
JAM STORAGE, LLC

2059 ALBANY POST ROAD, TOWN OF CORTLANDT, NY 10567

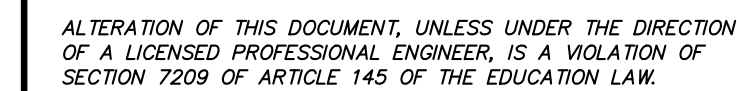
DRAWING:
GRADING & UTILITIES PLAN

PROJECT NUMBER	22240.100	PROJECT MANAGER	R.D.W.	DRAWING NO.	SP-2
DATE	11-20-24	DRAWN BY	C.M.S.		
SCALE	1" = 30'	CHECKED BY	S.M.R.		

LICENSE EXP. DATE: 06-30-2025
FIRM CERT. NO. 0021263

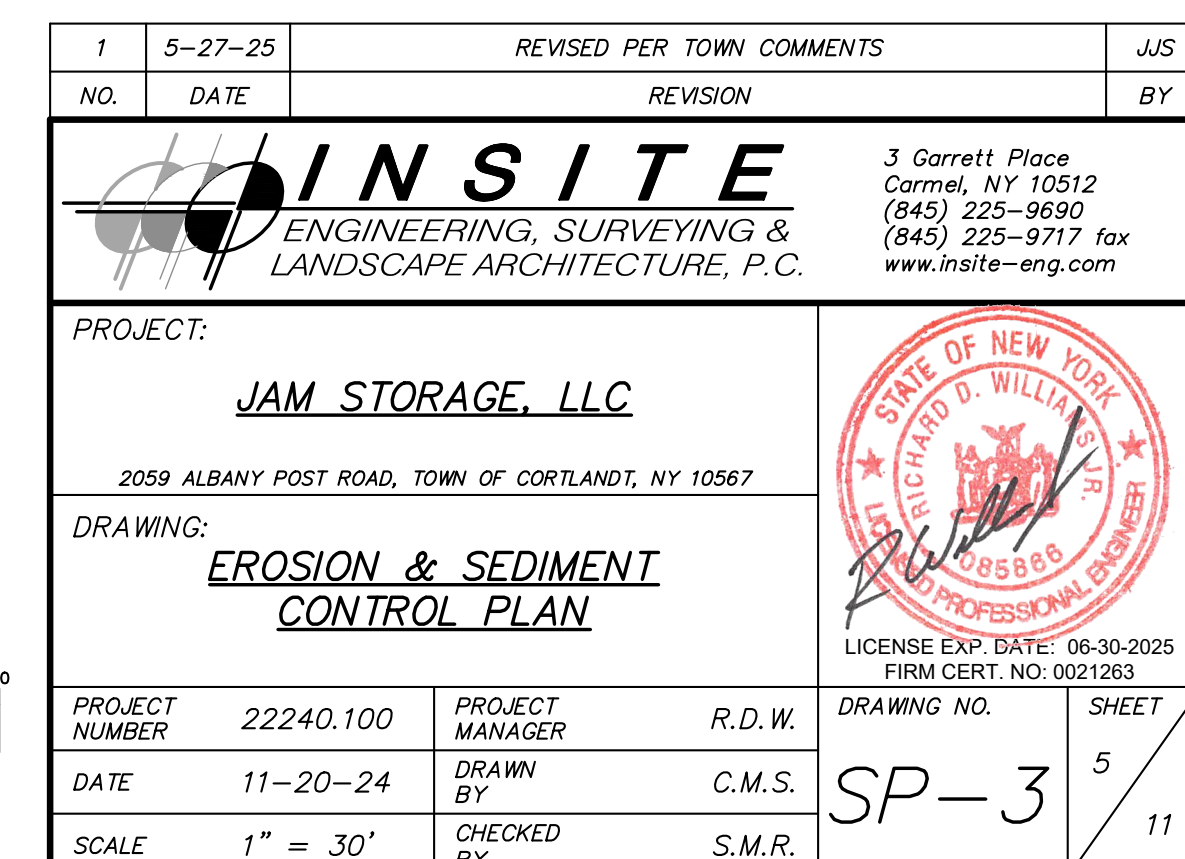
STATE OF NEW YORK
RICHARD D. WILLIAMS
Professional Engineer
No. 136856

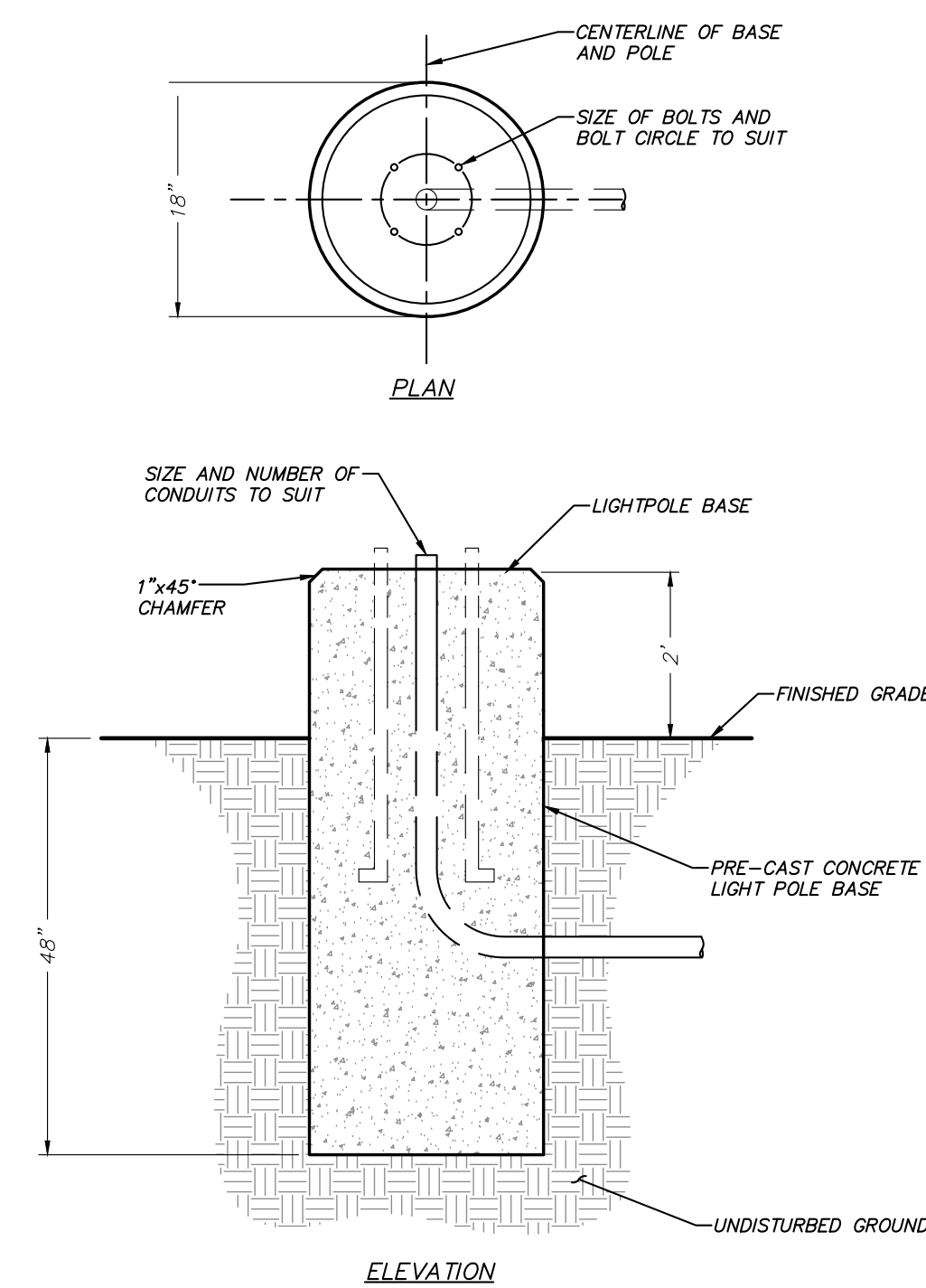
4
11



GENERAL NOTE:
All areas of proposed disturbance not being covered with hardscape shall undergo soil restoration.

1. Install stabilized construction entrance/anti-tracking pad at driveway entrance.
2. Install silt fence in general locations indicated on the plan.
3. Reveal and grade disturbed areas to match driveway, sidewalk and OWTS.
4. Strip and construct topsoil on site for later use in lawn and landscape areas.
5. Construct temporary sediment trap.
6. Begin excavation for foundation, grading, and driveway.
7. Begin installation of stormwater structures and piping.
8. Construct structure for sediment and silt trapping.
9. Install infiltration stormwater planters and bioscape.
10. Complete installation of grading and infiltration driveway surfaces.
11. Topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the Erosion and Sediment Control Notes contained on this page.
12. Installation of all construction facilities associated with the temporary sediment basin to the proposed stormwater management practice per the notes and details. The includes the following:
 - Accumulator
 - Sedimentation
 - Installing any needed components of the proposed stormwater management practice.
13. Remove temporary erosion and sediment control facilities associated with the project once final landscape plan is approved. The final landscape plan shall include driveway surfaces, any hardscape, and any landscape plantings. All disturbed areas shall be revegetated with native plants and grasses. All disturbed areas shall have seeded and a uniform, permanent vegetation cover with a density of 80% or greater. The entire project shall be revegetated with native plants and grasses. Other measures, such as permanent landscape mulch, rip rap, or washed/crushed stone have been applied on all disturbed areas that are not covered by permanent structures, concrete or





NOTE:

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE BOLT PATTERN AND CONDUIT SIZES WITH LIGHTING SUPPLIER AND ELECTRICAL DESIGN.
2. LIGHT POLE FOUNDATION SHALL RISE 2' ABOVE GRADE
3. FIXTURE MOUNTING HEIGHT SHALL BE CONSISTENT REGARDLESS OF LIGHT POLE BASE EXPOSURE

LIGHT POLE FOUNDATION DETAIL
(N.T.S.)

STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN ¹	MAX/MIN	MIN/AVG ²
Project Area	*	0.2 fc	3.7 fc	0.0 fc	37.0	0.5

1. In the photometric computations shown on the site plan, light levels of 0.0 footcandles are shown to depict that the proposed lighting conditions are compliant with the Town of Cortlandt lighting requirements. A minimum value of 0.1 was used in order to conduct the calculations for Max/Min and Min/Avg in the statistics table above.
2. Pursuant to §307-12.3 F(1C)), the uniformity ratio (calculated by dividing minimum/average) shall not be less than 1:3 (0.33) for all parking and traffic areas, or 1:4 (0.25) for all pedestrian areas.

LUMINAIRE SCHEDULE

Sym.	Qty.	Catalog Number	Description	Lamp	Mounting Height	Watts
A	2	ENC-SA1E-727-U-13	Invue Lighting Entri Series Building Mounted Area Light, Type 3 Distribution with Cast Aluminum Housing, 2700K	LED	14'-0"	57.2
B	2	ENC-SA1A-727-U-13	Invue Lighting Entri Series Building Mounted Area Light, Type 3 Distribution with Cast Aluminum Housing, 2700K	LED	14'-0"	20.1
C	2	GALN-SA1E-727-U-13-HSS	Galeon Lighting GALN Series Area Light, Type 3 Distribution with House Side Shield, 2700K	LED	18'-0"	57.0

LIGHT CONTOUR LEGEND

0.1	0.10 Foot Candles
0.5	0.50 Foot Candles
1	1.00 Foot Candles

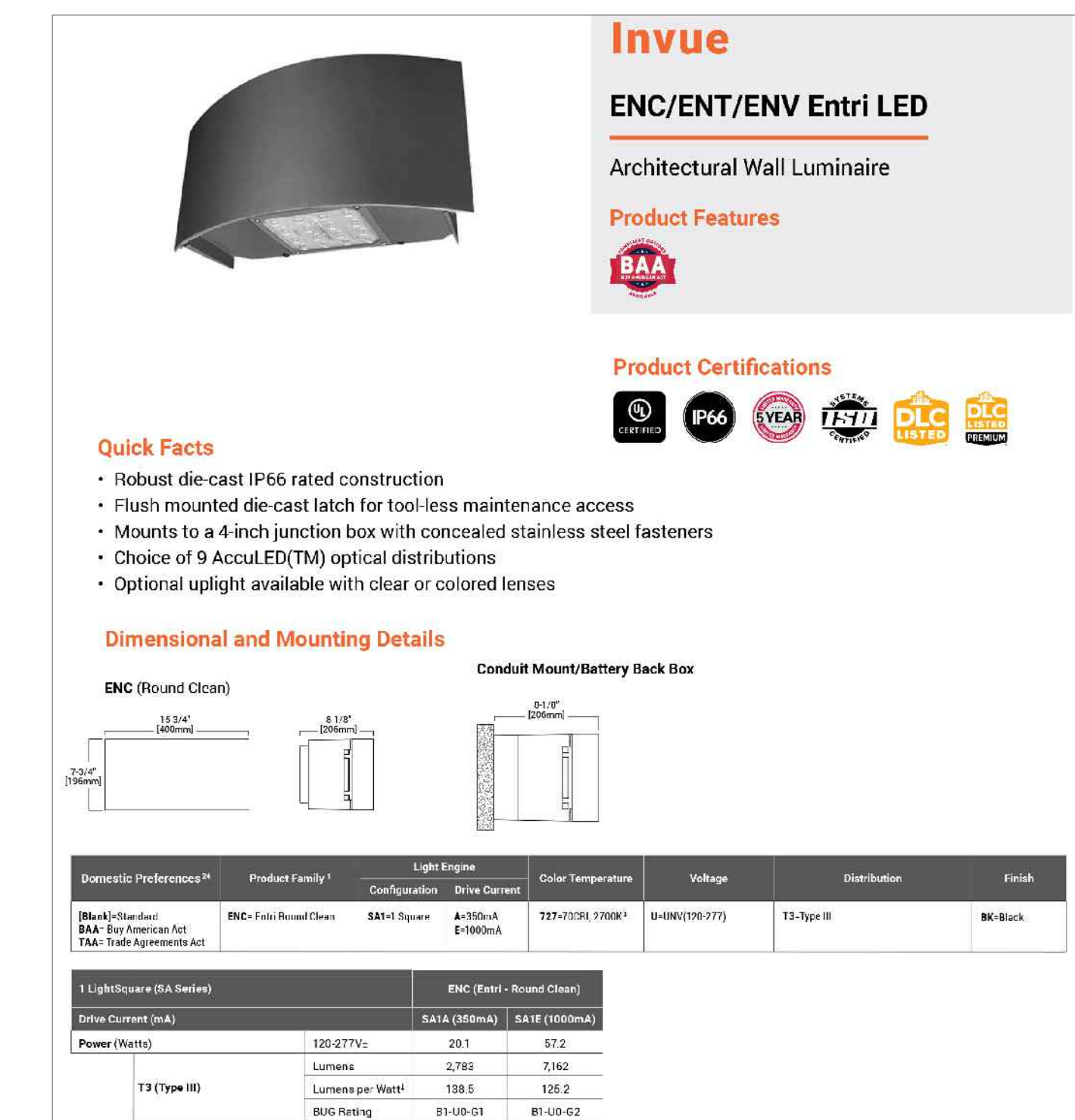
* Photometric calculations shown on plan are in foot candles.

LEGEND

	EXISTING STONE & MASONRY RETAINING WALL
	EXISTING STONE RETAINING WALL
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING WETLAND FLAG (OVERLAYS EXISTING)
	EXISTING WETLAND BUFFER
	EXISTING EVERGREEN TREE
	EXISTING DECIDUOUS TREE
	PROPOSED # OF STALLS TO BE STRIPED
	PROPOSED CONCRETE CURB
	PROPOSED EDGE OF SIDEWALK
	PROPOSED RETAINING WALL
	PROPOSED PAINTED HANDICAP PARKING SYMBOL
	PROPOSED ADA COMPLIANT RAMP
	PROPOSED STRIPED ISLAND
	PROPOSED RECYCLE / TRASH CONTAINER / REFUSE ENCLOSURE
	PROPOSED SINGLE POLE SIGN
	PROPOSED BUILDING MOUNTED LIGHT
	PROPOSED POLE MOUNTED LIGHT
	PROPOSED LANDSCAPING


TOWN OF CORTLANDT OUTDOOR LIGHTING STANDARDS

1. Pursuant to §307-12.3 F(2)(a), all outdoor lighting fixtures shall have a maximum BUG uplighting ratio of zero (00) to prevent glare, light trespass, and sky glow
2. Pursuant to §307-12.3 F(2)(c), all outdoor lighting fixtures installed adjacent to wooded or other natural habitats shall have a maximum BUG backlighting ratio of zero (00).
3. Pursuant to §307-12.3 F(3), all LED light sources shall have a maximum correlated color temperature (CCT) of 2,700K.
4. Pursuant to §307-12.3 F(4), all LED light sources shall have a minimum color rendering index of (CRI) rating of 70.



FIXTURES A & B

1	5-27-25	REVISED PER TOWN COMMENTS		
NO.	DATE	REVISION		



INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

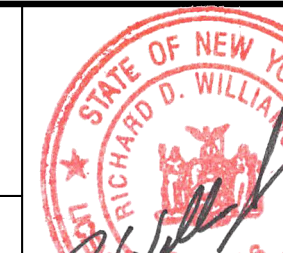
3 Garrett Place
Carmel, NY 10512
(845) 225-9000
(845) 225-9717 fax
www.insite-eng.com

PROJECT: JAM STORAGE, LLC

2059 ALBANY POST ROAD, TOWN OF CORTLANDT, NY 10567

DRAWING: PHOTOMETRIC LIGHTING PLAN

PROJECT NUMBER	22240.100	PROJECT MANAGER	R.D.W.
DATE	9-4-24	DRAWN BY	C.M.S.
SCALE	1" = 30'	CHECKED	S.M.R.



LICENSE EXPIR DATE: 06-30-26
FIRM CERT NO: 0021293

DRAWING NO.

LP-1

SHEET
6

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF
SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

EXISTING LIGHT POLES HAVE NOT BEEN ACCOUNTED FOR IN THE COMPUTATIONS SHOWN HEREON. EXISTING LIGHTING AND ANY NECESSARY SUPPLEMENTAL LIGHTING ALONG THE PROPOSED DRIVEWAY WILL BE EVALUATED UPON RECEIPT OF UPDATED SURVEY BASEMAP

—Pursuant to §307-12.3 F(5(B)), for all nonresidential uses in a nonresidential zoning district, lighting levels may be allowed up to 0.1 footcandles at the property line.

N/F
TOWN OF
CORTLANDT
55.9-2-1.1

N/F
TOWN OF
CORTLANDT
55.13-2-22

Pursuant to §307-12.3 F(5(B)), for all nonresidential uses in a nonresidential zoning district, lighting levels may be allowed up to 0.1 footcandles at the property line.

N/F
KRAMER
BUILDING CORP.
55.13-2-14


N/F
FRANCISCO
PORTILLO
55.13-2-15

N/F
17 DEERHAUN
DRIVE LLC
55.13-2-12

N/F
OSCAR
LUNGO
55.13-2-11

TC
COR
.55

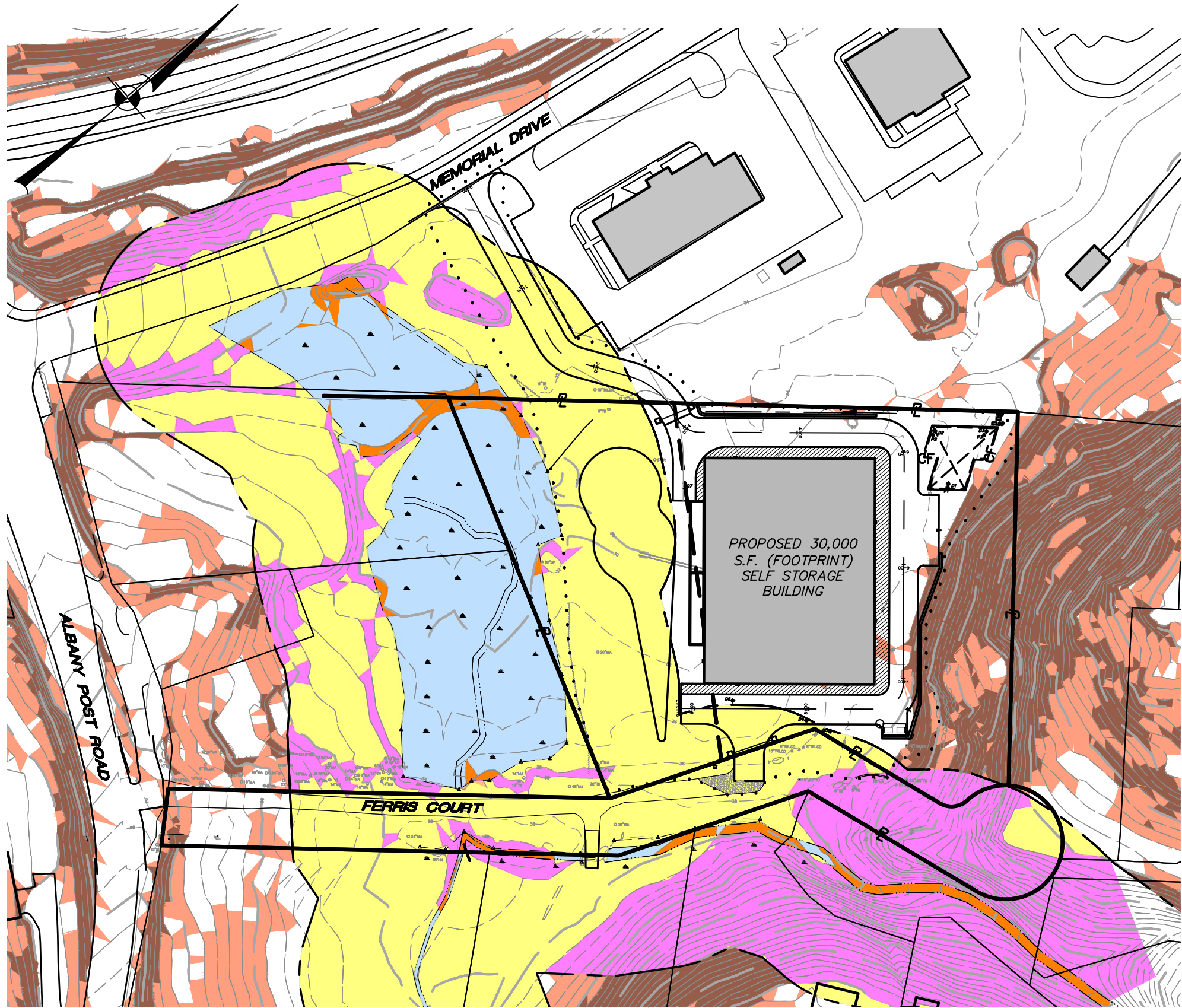
GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

6/

Z:\E\22240100 DHP Group, Deer Hunt Drive\Misc Drawing Files\Constraints - Steep Slopes\2025-05-01\Constraints map.dwg, 5/27/2025 9:36:36 AM, tbetz, 1:1



LEGEND

	EXISTING PROPERTY LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING BUILDING
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING WETLAND
	EXISTING WETLAND
	EXISTING WETLAND FLAG (Survey Located)
	EXISTING WETLAND BUFFER
	EXISTING WATERCOURSE
	PROPOSED CONCRETE CURB
	PROPOSED PERVIOUS PAVER DRIVEWAY
	PROPOSED OWTS AREA
	PROPOSED LIMITS OF DISTURBANCE

Slopes Table

Number	Minimum Slope	Maximum Slope	Color
1	15%	30%	
2	30%	Vertical	

Wetland Table

Number	Description	Color
1	Wetlands	
2	Wetland Buffer	
3	Steep Slopes within Wetland	
4	Steep Slopes within Wetland Buffer	

PROJECT:

JAM STORAGE, LLC

2059 ALBANY POST ROAD, TOWN OF CORTLANDT, NY 10567

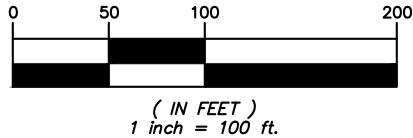
DRAWING:

CONSTRAINTS MAP

PREPARED BY:

INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place • Carmel, New York 10512
Phone (845) 225-9690 • Fax (845) 225-9717
www.insite-eng.com

GRAPHIC SCALE



DATE: 5-22-25

SCALE: 1" = 100'

PROJECT NO.: 22240.100

FIGURE:
CM-1

May 27, 2025

Steven Kessler, Chairman
Town of Cortlandt Planning Board
One Heady Street
Cortlandt Manor, New York 10567

Re: *Site Plan & Special Permit*
PSW Realty (Applicant)
Switch Inc. Electrical (Specialty Contractor)
2015 Albany Post Road
Town of Cortlandt, NY
Tax Map Designation: 55.18-2-19

Dear Chairman Kessler and Members of the Planning Board:

Find enclosed the following information for the above-referenced application:

- Site Plan Application Fee \$500
- Special Permit Application Fee \$500
- Abutting Properties List
- Proxy Statement
- Property Deed
- Property Survey prepared by JRL Land Surveying P.C., dated July 12, 2021
- Short Environmental Assessment Form ("SEAF")
- Special Permit Conditions for Specialty Trade Contractors per Section 307-65.6
- Site Development Plan, dated May 20, 2025

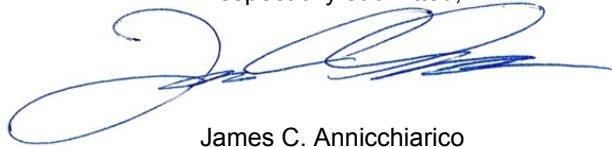
We are pleased to submit the enclosed information on behalf of PSW Realty ("Applicant"), who is seeking Site Plan Approval & a Special Permit for their electrical contracting business ("Switch Inc. Electrical") at the above reference property. The parcel is 26,562 SF (0.61 acres) and is located in the HC (Highway Commercial) Zoning District. Specialty Trade contractors are permitted by Special Permit of the Planning Board in the HC zone. Town Code Chapter 307-65.6. Specialty Trade Contractors lists criteria A. through L. for consideration.

The existing site contains a one-story building and is currently the location of Down Cycle, a bicycle business. Some of the Board may recall a Site Development Plan was approved for Albert Picarello for the bicycle business and a proposed metal building behind the existing building back in 2022 via Resolution No. 9-22. The proposed improvements were never constructed and Mr. Picarello is now retiring and selling the property to the applicant.

The proposed site plan does not propose any new buildings, structures, or increase in impervious area, simply a renovation of the interior of the existing building for an electrical contractors office. There are also several non-permanent storage structures on the property that are proposed to be removed. There is an existing asphalt parking area that is currently unmarked for parking spaces. Proposed striping will create six (6) parking spaces, including one (1) handicap space. The property has an existing connection to the public water main and existing on-site wastewater treatment system ("OWTS"). The existing building does not meet the front yard setback zoning requirement but is considered pre-existing non-conforming.

We look forward to appearing before the Planning Board to discuss the project in detail on June 5, 2025 at which time we will respectfully request that you consider scheduling a Public Hearing for the July 2025 meeting considering there is no August meeting. Should you have any questions or require additional information please contact me at the above number. Thank you for your time and consideration in this matter.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'J. Annicchiarico', with a large, stylized loop at the end.

James C. Annicchiarico
Project Engineer

enclosures

cc: John & Kerry Whelan, PSW Realty & Switch Inc. Electrical

File: *Whelan-2015 Albany Post Rd-Cortlandt-Site Plan & Special Permit-Letter-20250527.doc*

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

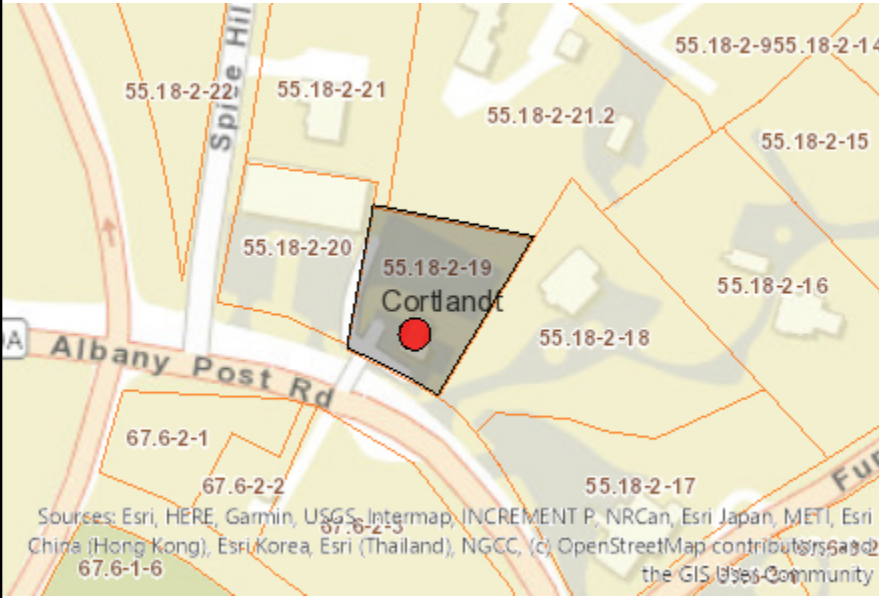
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:			Telephone:	
			E-Mail:	
Address:				
City/PO:			State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO	YES
If Yes, list agency(s) name and permit or approval:			<input type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned _____ acres or controlled by the applicant or project sponsor?				
4. Check all land uses that occur on, are adjoining or near the proposed action: 5. Urban Rural (non-agriculture) Industrial Commercial Residential (suburban) <input type="checkbox"/> Forest Agriculture Aquatic Other(Specify): <input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest Agricultural/grasslands Early mid-successional </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> Wetland <input type="checkbox"/> Urban Suburban </div>		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <div style="margin-left: 20px; margin-top: 10px;"> a. Will storm water discharges flow to adjacent properties? </div> <div style="margin-left: 20px; margin-top: 10px;"> b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? </div> If Yes, briefly describe: <div style="border-bottom: 1px solid black; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; margin-top: 5px;"></div>	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: <div style="border-bottom: 1px solid black; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; margin-top: 5px;"></div>	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
49. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: <div style="border-bottom: 1px solid black; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; margin-top: 5px;"></div>	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <div style="border-bottom: 1px solid black; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; margin-top: 5px;"></div>	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
<p>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor/name: _____ Date: _____</p> <p>Signature: <u>Ken Widner</u> Title: _____</p>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources to confirm data provided by the Mapper or to obtain data not provided by the Mapper.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

May 22, 2025

Re: *Site Plan & Special Permit*
PSW Realty & Switch Inc. Electrical
2015 Albany Post Road
Town of Cortlandt, NY
Tax Map Designation: 55.18-2-19

**Special Permit Conditions for Specialty Trade Contractors
per Section 307-65.6 of the Town of Cortlandt Zoning Code**

- A. The rear of the property abuts the R-40 district. The rear setback for the building is more than two times the minimum required 30-ft. with a setback of 109.5 ft. Suitable buffers already exist by means of existing landscaping and wooded areas.
- B. Noise levels should not exceed 65 dB or the 55 dB noted at any time based on the nature of the business. Employees will pick up their company vehicle and leave for electrical contracting jobs. Office staff (2) will occupy the building. No outside work will take place at the site.
- C. The nature of the electrical contracting business will not create any "fugitive dust or odors from contractor activities".
- D. Existing impervious coverage of the site is 16%, and no additional impervious coverage is proposed at this time.
- E. This is a relatively small electrical business operation with modestly sized vehicles that leave the site in the AM and return in the PM.
- F. The electrical business does not store materials outdoors. Further, we have added a note to the Site Plan prohibiting outdoor storage of materials.
- G. Duly noted.
- H. Again, the nature of the electrical business does not include/require the use of machinery, equipment or power tools at any time at the site.
- I. At this time we do not believe security fencing would be required as the site will consist of the building and parking spaces only.
- J. Duly noted.
- K. Duly noted.
- L. Duly noted.

GENERAL NOTES

1. SURVEY INFORMATION SHOWN HEREON IS BASED ON A MAP PREPARED BY JRL LAND SURVEYORS, P.C., ENTITLED "SURVEY OF PROPERTY SITUATE IN THE TOWN OF CORTLANDT WESTCHESTER COUNTY, NEW YORK, PREPARED FOR ALBERT PICARELLO" DATED JULY 12, 2021.
2. TOPOGRAPHY IS BASED ON DATA FROM THE WESTCHESTER COUNTY GIS WEBSITE.
3. PARCEL TAX MAP DESIGNATION: SECTION: 55.18, BLOCK: 2, LOT: 19
4. TOTAL AREA OF LOT: 26,562 SQ. FT. (0.610 ACRES)
5. PARCEL IS LOCATED IN THE TOWN OF CORTLANDT HC (HIGHWAY COMMERCIAL) ZONING DISTRICT.
4. THE PROJECT SITE IS LOCATED IN THE HUDSON RIVER WATERSHED.

SPECIAL NOTES

1. THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS AND METHODS NEEDED TO PERFORM THE CONSTRUCTION/EXCAVATION, ET AL. OPERATIONS SHOWN HEREON. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE A SAFE WORKING ENVIRONMENT AND PROVIDE THE MEANS AND METHODS TO PERFORM THE NECESSARY TASKS. NOTHING ON THESE PLANS SHALL OBLIGATE THE DESIGN ENGINEER AS TO THE MEANS AND METHODS TO PERFORM THE TASKS ASSOCIATED WITH THE APPROVED DESIGN PLANS. THOSE OBLIGATIONS AT ALL TIMES REMAIN WITH THE CONTRACTOR(S).
2. THESE DRAWINGS MAY OR MAY NOT TRULY REFLECT EXISTING CONDITIONS AND THAT SUCH INFORMATION IS INCLUDED ON THE ASSUMPTION THAT IT MAY BE OF INTEREST TO THE CONTRACTOR, BUT THE ENGINEER, OWNER AND THEIR CONSULTANTS DO NOT ASSUME RESPONSIBILITY FOR ITS ACCURACY OR COMPLETENESS. THE CONTRACTOR HAS AN OBLIGATION TO DETERMINE FOR ITSELF THE TRUE NATURE OF EXISTING CONDITIONS.

ZONING DATA CHART - HC (HIGHWAY COMMERCIAL)

LOT DESCRIPTION	MINIMUM LOT AREA (SQ FT)	MINIMUM LOT WIDTH (FEET)	MAXIMUM HEIGHT (STORIES / FT)	FRONT YARD (FT)	SIDE YARD (FT)	REAR YARD (FT)	MAXIMUM BUILDING COVERAGE (%)	MINIMUM LANDSCAPE COVERAGE (%)
MINIMUM REQUIRED	20,000	100	2 1/2 / 35	30	30	30	20%	30%
EXISTING	26,562	158	1 / <35'	7.3'	30.8	109.5	5%	84%
*PRE EXISTING NON CONFORMING CONDITION								

PARKING DATA CHART

DESCRIPTION	PARKING SPACES REQUIRED	PARKING SPACES PROVIDED
STANDARD SPACES	4	5
HANDICAP SPACES	1	1
TOTAL SPACES	5	6

PURSUANT TO SECTION 307-29 OF THE TOWN CODE: "Other personal or business service or repair facility" 1 per 300 square feet of habitable ground floor space, plus 1 per 500 square feet of habitable floor space on upper floors

* EXISTING HABITABLE GROUND FLOOR SPACE = 1,250 SF/300 SF = 4.16 SPACES

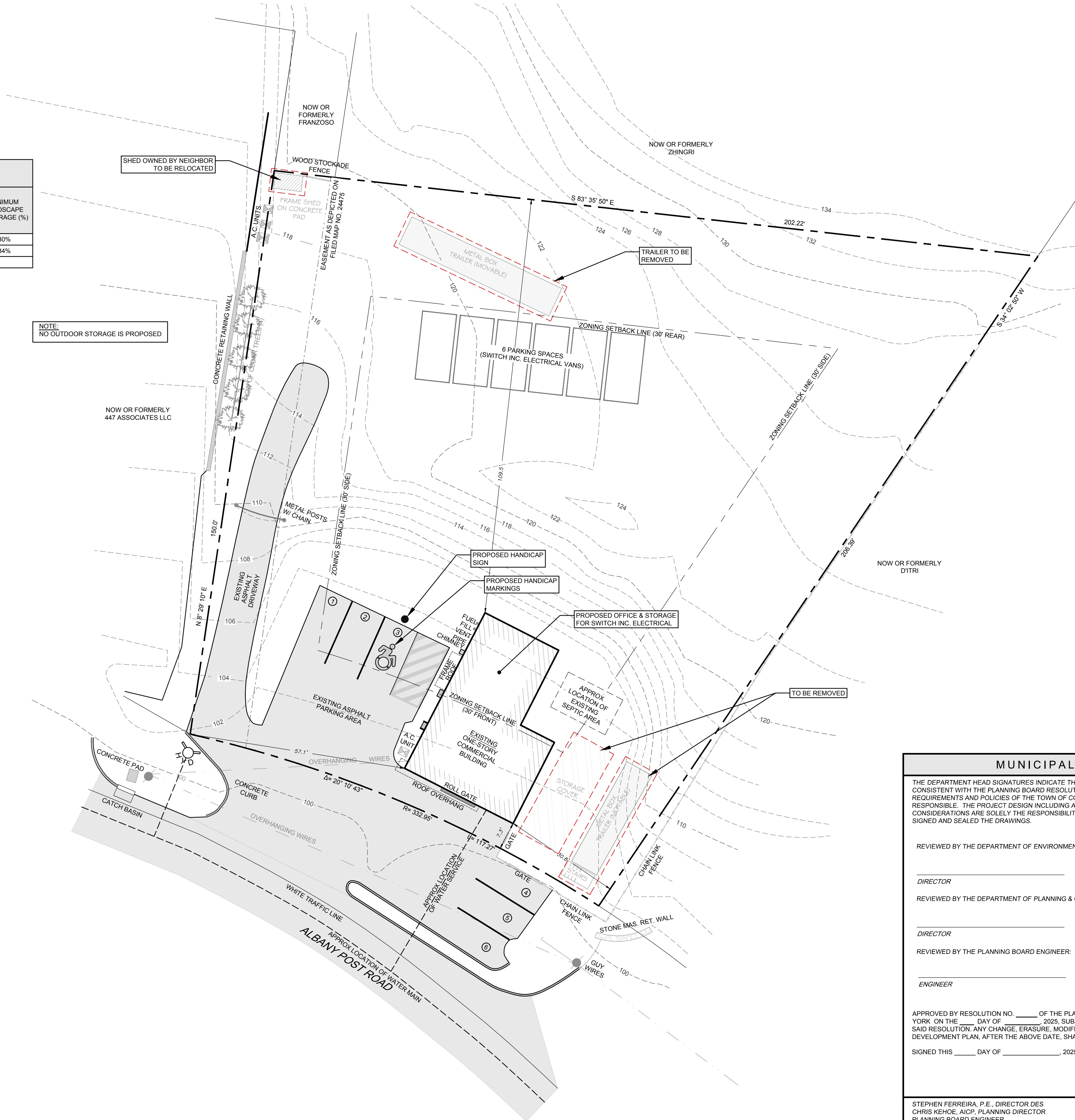
SITE DEVELOPMENT PLAN

FOR

PSW REALTY

TOWN OF CORTLANDT

WESTCHESTER COUNTY, NEW YORK



MUNICIPAL APPROVAL

THE DEPARTMENT HEAD SIGNATURES INDICATE THAT THIS DRAWING OR SET OF DRAWINGS IS CONSISTENT WITH THE PLANNING BOARD RESOLUTION OF APPROVAL AND WITH THE GENERAL REQUIREMENTS AND POLICIES OF THE TOWN OF CORTLANDT FOR WHICH THE DEPARTMENT HEAD IS RESPONSIBLE. THE PROJECT DESIGN INCLUDING ALL PUBLIC HEALTH AND SAFETY CONSIDERATIONS ARE SOLELY THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL WHO HAS SIGNED AND SEALED THE DRAWINGS.

REVIEWED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES:

DIRECTOR _____ DATE _____

REVIEWED BY THE DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT:

DIRECTOR _____ DATE _____

REVIEWED BY THE PLANNING BOARD ENGINEER:

ENGINEER _____ DATE _____

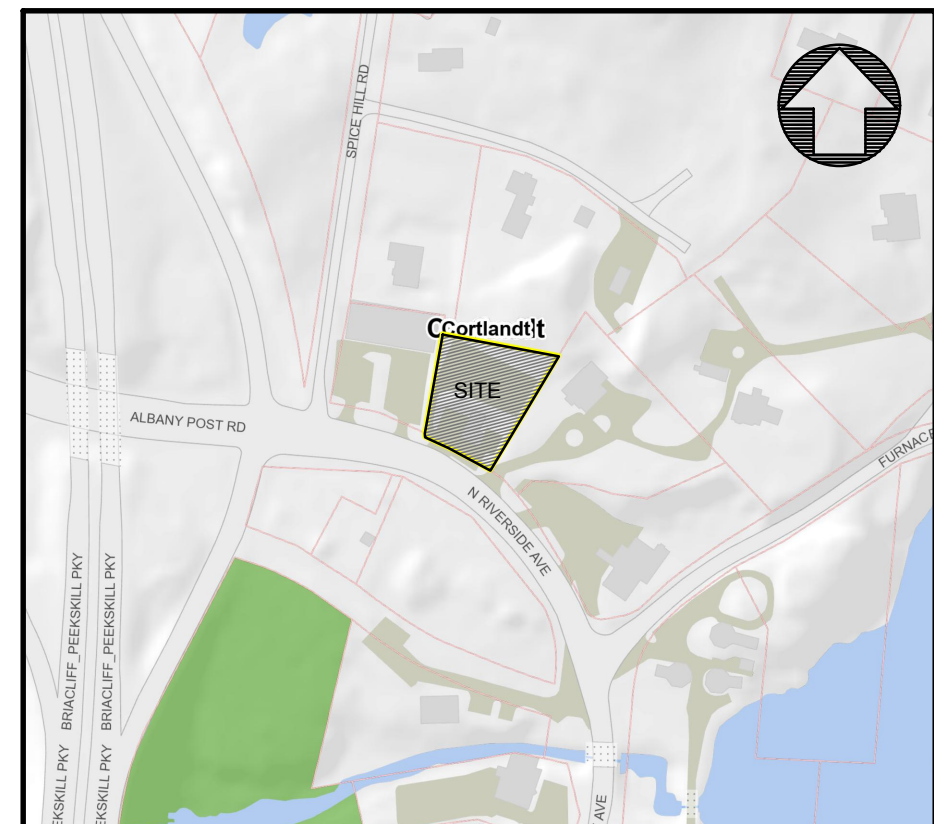
APPROVED BY RESOLUTION NO. _____ OF THE PLANNING BOARD OF THE TOWN OF CORTLANDT, NEW YORK ON THE _____ DAY OF _____, 2025, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION IN THIS PLAT OR SITE DEVELOPMENT PLAN, AFTER THE ABOVE DATE, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 2025 BY:

CHAIRMAN OF THE PLANNING BOARD

STEPHEN FERREIRA, P.E., DIRECTOR DES
CHRIS KEHOE, AICP, PLANNING DIRECTOR
PLANNING BOARD ENGINEER

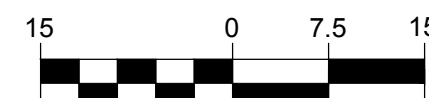
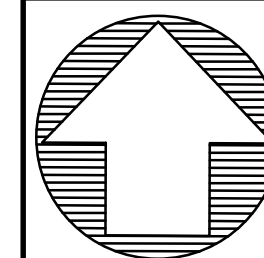
737-0100
734-1080
734-1080



VICINITY MAP SCALE: 1" = 300'



Know what's below.
Call before you dig.



SCALE: 1" = 15 FT.

CONTRACT VENDEE/APPLICANT

PSW REALTY
25 N. RIVERSIDE AVENUE
CROTON-ON-HUDSON, NY 10520

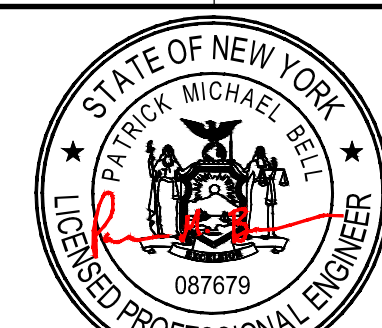
- UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.
- COPYRIGHT "2025" BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

REVISIONS

#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:

SECTION: 55.18
BLOCK: 2
LOT: 19
SUBLOT: ----
DRAWN BY: KW
CHECKED: JA
PROJECT: WHELAN-2015 ALBANY POST RD
DATE: MAY 22, 2025
JOB #: 250514



AUTHORIZATION No. 028856
EXPIRATION DATE: 03-31-2027
PATRICK M. BELL, PE
LICENSE #087679



39 Arlo Lane
Cortlandt Manor, New York 10567

SITE DEVELOPMENT PLAN

SITE PLAN FOR PSW REALTY

LOCATION:
2015 ALBANY POST ROAD
TOWN OF CORTLANDT, NEW YORK

SHEET 1 OF 1

SP-1.1

18814-was

LOT 1

NOW OR FORMERLY
FRANZOSO

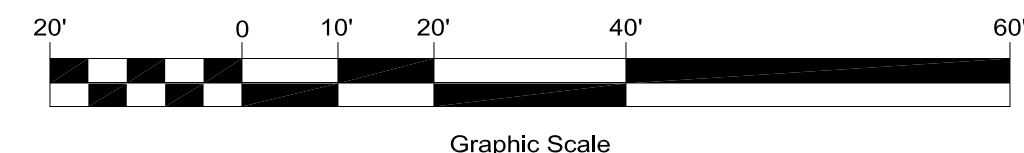
FRANZOSO ACRES
FILED MAP No. 24475

LOT 2

NOW OR FORMERLY ZHINGRI

SURVEY OF PROPERTY
SITUATE IN THE
TOWN OF CORTLANDT
WESTCHESTER COUNTY
NEW YORK

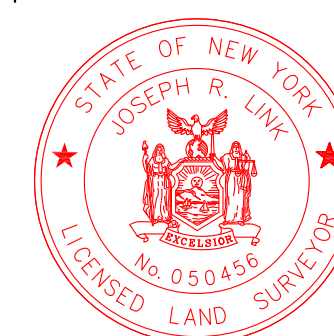
SCALE : 1"= 20'
SURVEYED: JULY 12,2021



- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF CORTLANDT MAP 55.18 * BLOCK 2 * LOT 19 PROPERTY AREA = 26,562 Sq. Ft. / 0.6098 Acres Address: 2015 ALBANY POST ROAD
- THE PREMISES SHOWN HEREON BEING THE SAME AS DESCRIBED IN CONTROL No. 422110208 AND FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE DIVISION OF LAND RECORDS.
- ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
- SURVEY IS SUBJECT TO ANY STATE OF FACTS WHICH AN UP-TO-DATE TITLE EXAMINATION MAY DISCLOSE.
- THE OFFSETS SHOWN ARE FOR INFORMATIONAL PURPOSE ONLY. THEY ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENT.
- COPYRIGHT 2021 JRL LAND SURVEYOR P.C. ALL RIGHTS RESERVED. THE UNAUTHORIZED REPRODUCTION AND DISTRIBUTION OF THIS DOCUMENT IS ILLEGAL, AND IS A VIOLATION UNDER UNITED STATES COPYRIGHT LAWS.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.
- THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING "CODE OF PRACTICE FOR LAND SURVEYS" ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PREPARED FOR:

ALBERT PICARELLO



Joseph R. Link

JOSEPH R. LINK
NEW YORK STATE LICENSED
LAND SURVEYOR NO. 050456

NEW YORK STATE LICENSED
LAND SURVEYOR SEAL

Phone: 914-941-1440 Web <http://jrlsurveying.com>

OLD NEW YORK AND ALBANY POST ROAD



May 27, 2025

Chris Kehoe, AICP
Director of Planning and Community Development
Town Hall Office #4
Town of Cortlandt
1 Heady Street
Cortlandt Manor, New York 10567

RE: Dakota Recycling Services and Dakota Concrete Services, Site Plan Application

Dear Chris,

On behalf of Dakota Recycling Services and Dakota Concrete Services, please accept this letter as an initial Site Plan Application submittal for the existing Dakota Recycling and Concrete Facility located at 2099 Albany Post Road, within the jurisdiction of the Town of Cortlandt, New York.

At the request of the Town, the applicant was asked to submit this Site Plan Application for the existing facility to ensure compliance with Town standards. The site is currently being used for processing and recycling of construction and demolition materials in addition to concrete production.

We look forward to discussing this project with you at the June Planning Board Meeting.

Enclosed with this letter, please find the following materials for your review:

- Environmental Assessment Form
- Material Storage Yard Comparison Maps
- Site Plan Drawings
- Recycling Facility SWPPP
- Concrete Facility SWPPP
- Copy of Deeds
- Owner Authorization Letter
- Property Survey
- List of Adjoining Property Owners and Map
- Air Quality Permits
- Bulk Petroleum Certificate

■ LANDSCAPE ARCHITECTURE ■ ENGINEERING ■ PLANNING, PC

Thank you for your time and consideration. We look forward to working with the Town throughout the review and approval process.

If you have any additional questions, please feel free to contact our office.

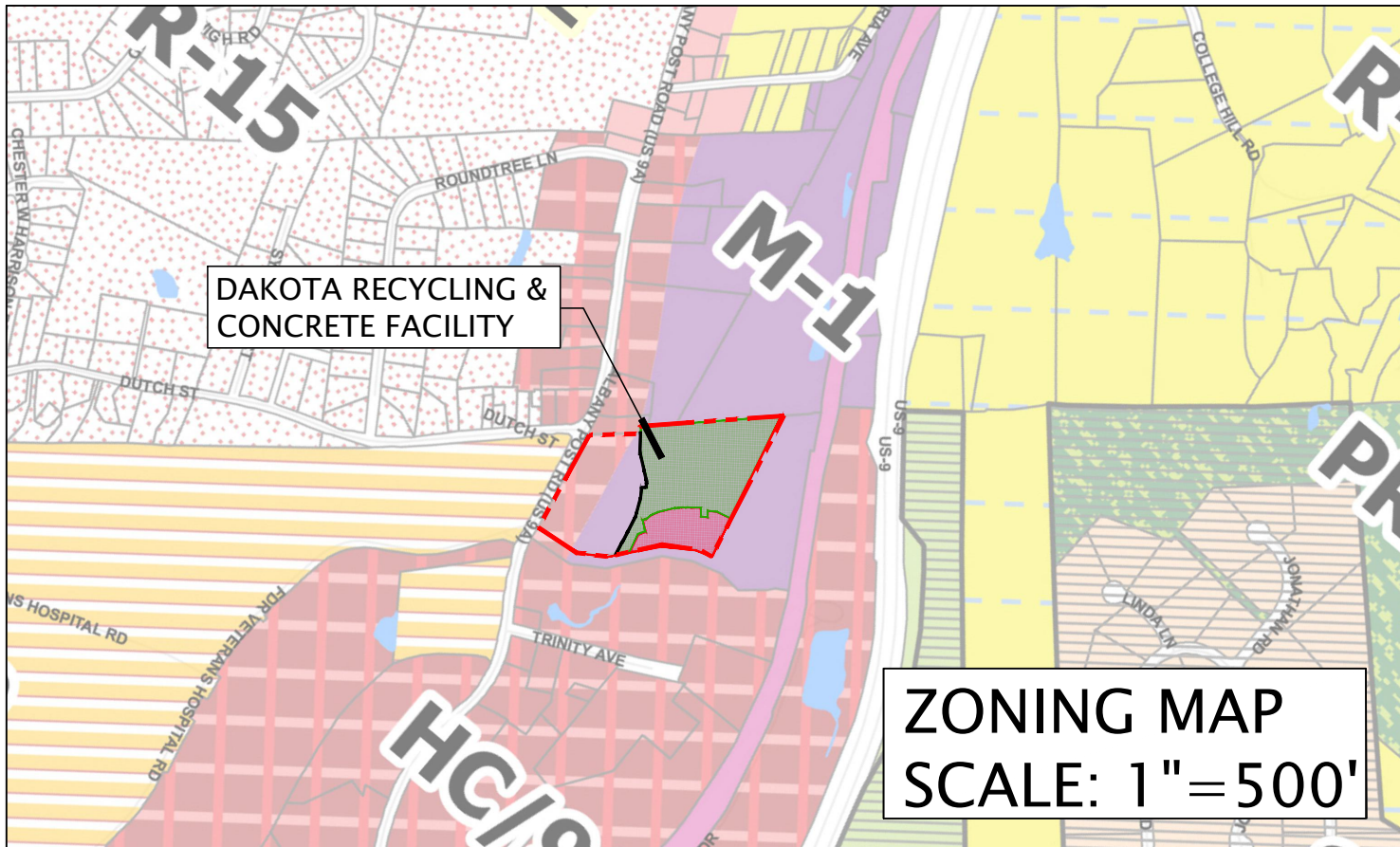
Thank you for your assistance with this project.

Best regards,
CLA SITE Landscape Architecture,
Engineering & Planning, PC.

A handwritten signature in purple ink, appearing to read "Peter Loyola", is displayed within a light blue rectangular box.

Peter Loyola, Principal

Cc: Thalle Industries, Inc.
Enclosures



NOTES:

1. ALL CONDITIONS OF APPROVAL AS NOTED IN FORMAL LETTERS OF APPROVAL OR FINDINGS ARE A PART OF THE APPROVED SITE PLAN, DRAWINGS OR PLANS, AND ARE HEREBY REFERENCED FOR ADDITIONAL APPROVED DETAILS.

LIC. NO.
CLA SITE

LIC. NO.
CLA SITE

PHASE 2
DAKOTA RECYCLING SERVICES AND
DAKOTA CONCRETE SERVICES

2099 Albany Post Rd,
Westchester County, NY 10548

05-27-2025

OPERATOR/APPLICANT :

Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:

Bilotta Realty of Westchester, Inc. and Briga Enterprises Inc.
2099 Albany Post Rd,
Montrose, NY 10548
Phone: 914.737.7891

LEAD CONSULTANT:

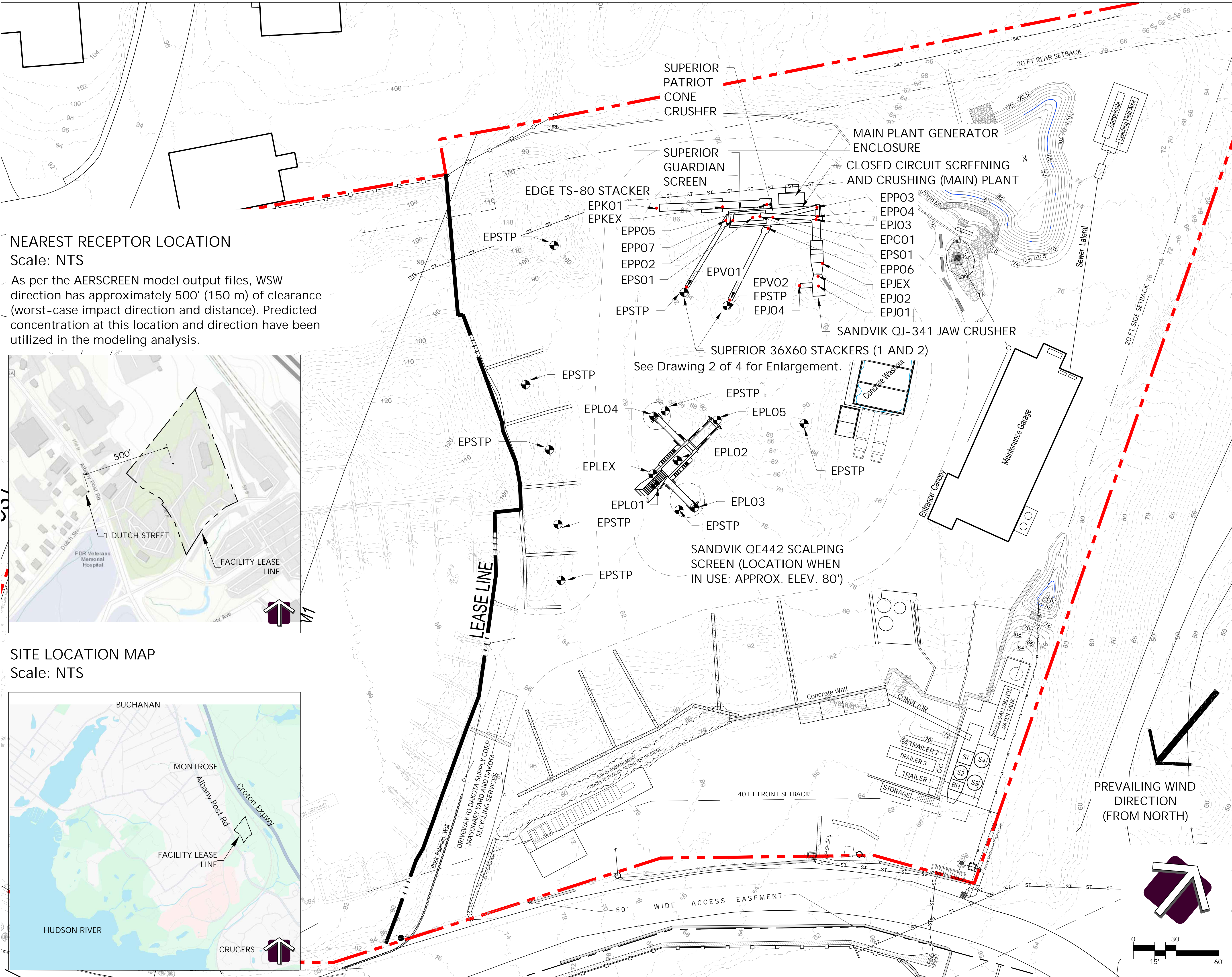
CLASite
LANDSCAPE ARCHITECTURE ■ ENGINEERING ■ PLANNING, PC
Designs that Build

58 Church Street, Suite 200
Saratoga Springs, New York 12286
Phone: 518.584.8661
Fax: 518.584.8651
Contact: Peter Loyola, RLA, ASLA

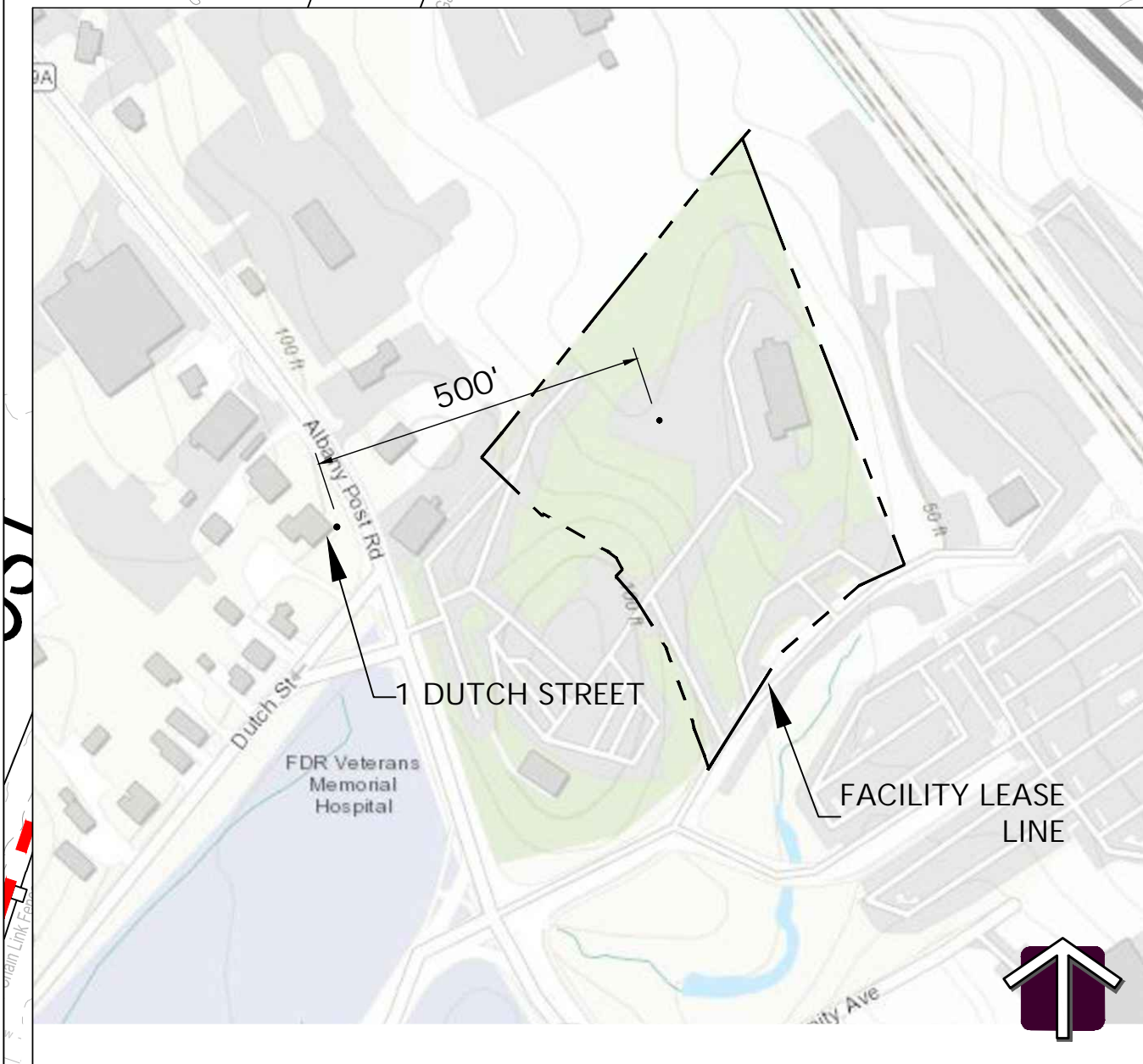
SITE PLAN DRAWING SET

DRAWING INDEX

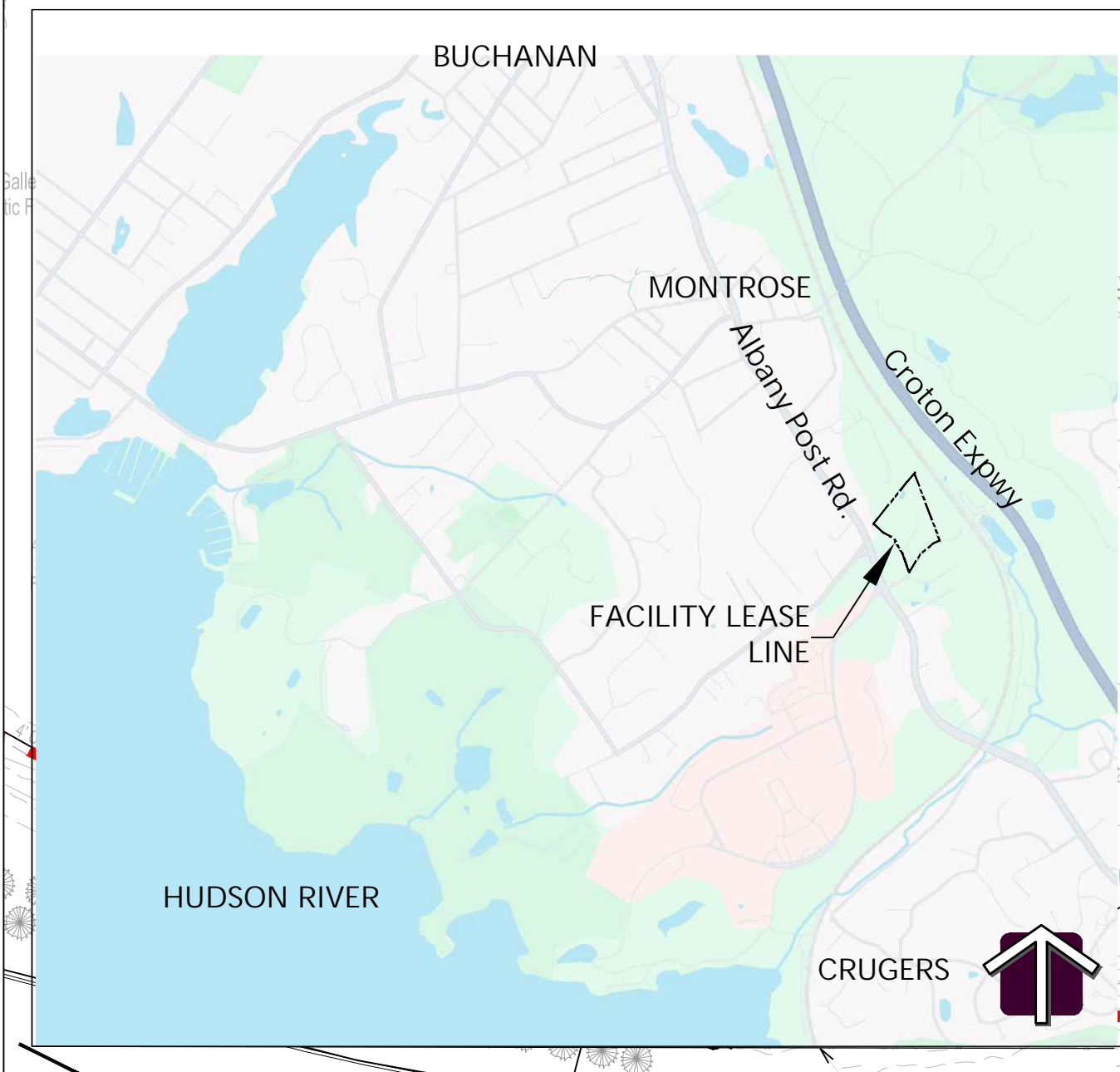
Page No.	Sheet Title	Sheet Description
1	CLA-01	Overall Site Map
2	CLA-02	Recycling Facility Site Plan
3	CLA-03	Recycling Equipment Spread Enlargment
4	CLA-04	Recycling Equipment Emission Point Locations
5	CLA-05	Recycling Equipment Emission Point Locations
6	CLA-06	Concrete Facility Site Plan
7	CLA-07	Concrete Equipment Details
8	CLA-08	Concrete Truck Washout Layout Plan
9	CLA-09	Utility Plan
10	CLA-10	Fire & Emergency Response Access Plan
11	STR-R1	Recycling SWPPP Drainage Plan
12	STR-R2	Recycling Detention Pond Existing Conditions
13	STR-R3	Recycling Detention Pond Proposed Conditions
14	STR-R4	Recycling Detention Pond Details
15	STR-C1	Concrete SWPPP Drainage Plan
16	STR-C2	Concrete Detention Pond Proposed Conditions
17	STR-C3	Concrete Detention Pond Details
18	SURVEY	Site Survey



NEAREST RECEPTOR LOCATION
Scale: NTS
As per the AERSCREEN model output files, WSW direction has approximately 500' (150 m) of clearance (worst-case impact direction and distance). Predicted concentration at this location and direction have been utilized in the modeling analysis.



SITE LOCATION MAP
Scale: NTS



OPERATOR/APPLICANT :
Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:
Bilotta Realty of Westchester, Inc. and Briga Enterprises Inc.
2099 Albany Post Rd,
Montrose, NY 10548
Phone: 914.737.7891

**Phase 2
Dakota
Recycling Services
and
Dakota
Concrete Services**

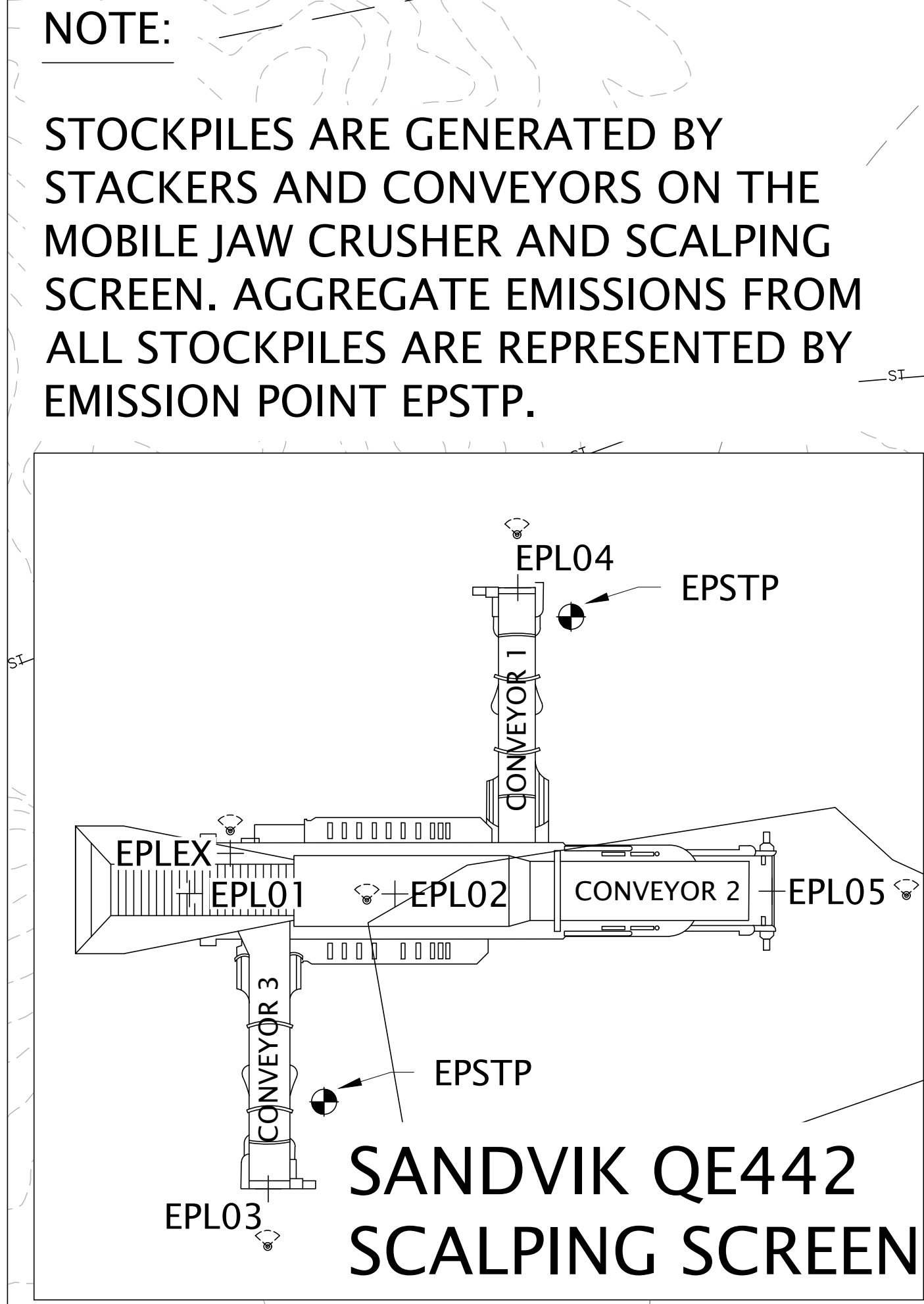
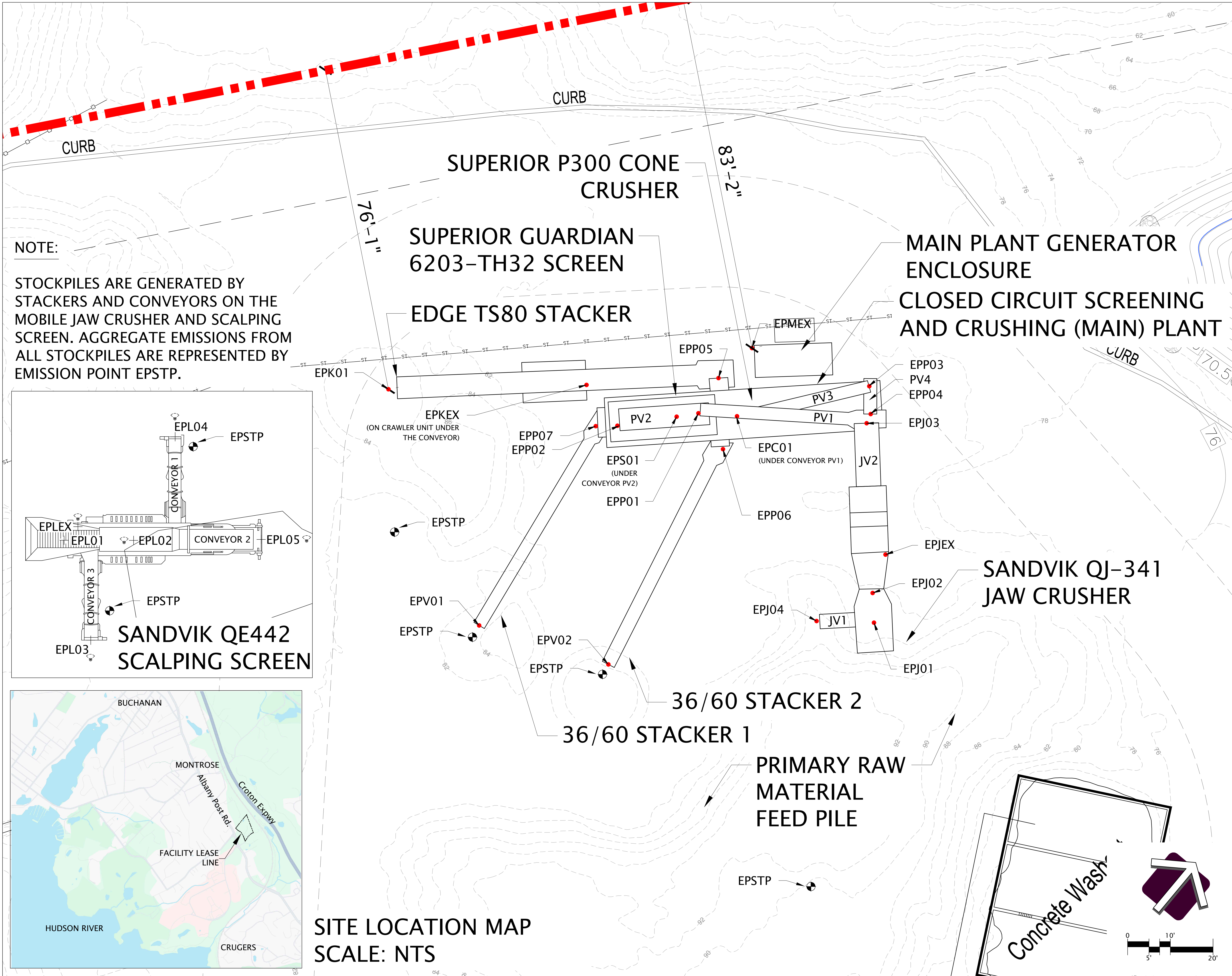
Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn
08/29/24	SITE LOCATION MAP, EPSTP, WIND ARROW	SRZ
05/27/25	Base Map Information Update	WD

Copyright 2025 - CLA Site Landscape Architecture, Engineering, & Planning P.C. It is a violation of the New York State Education Law for any unauthorized alterations to this document as per Article 145 and 147.

Project No. 20-1176 Drawn By: SZ
Date: 09/04/2024 Checked By: PMA
Sheet 02 of 18

**RECYCLING FACILITY
SITE MAP
CLA-02**



OPERATOR/APPLICANT :
Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:
Bilotta Realty of Westchester,
Inc. and Briga Enterprises Inc.
2099 Albany Post Rd,
Montrose, NY 10548
Phone: 914.737.7891

**Phase 2
Dakota
Recycling Services
and
Dakota
Concrete Services**

Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn
08/29/24	SITE LOCATION MAP AND DUST CONTROL	SRZ
05/27/25	Base Map Information Update	WD

Copyright 2025 - CLA Site Landscape Architecture, Engineering, & Planning P.C. It is a violation of the New York State Education Law for any unauthorized alterations to this document as per Article 145 and 147.

Project No. 20-1176 Drawn By: SZ
Date: 09/04/2024 Checked By: PMA
Sheet 03 of 18

**RECYCLING EQUIPMENT
SPREAD ENLARGEMENT
CLA-03**

OPERATOR/APPLICANT :

Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:

Bilotta Realty of Westchester,
Inc. and Briga Enterprises Inc.
2099 Albany Post Rd,
Montrose, NY 10548
Phone: 914.737.7891

Phase 2
Dakota
Recycling Services
and
Dakota
Concrete Services

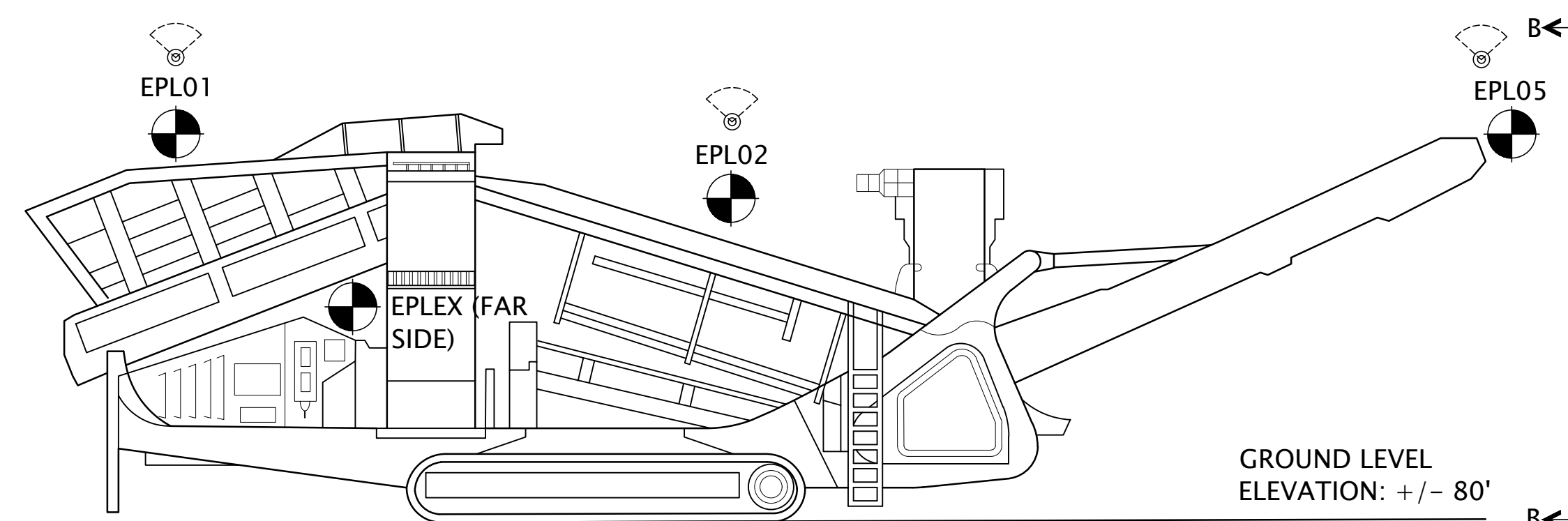
Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn
08/29/24	DUST CONTROL SPRAY HEADS	SRZ

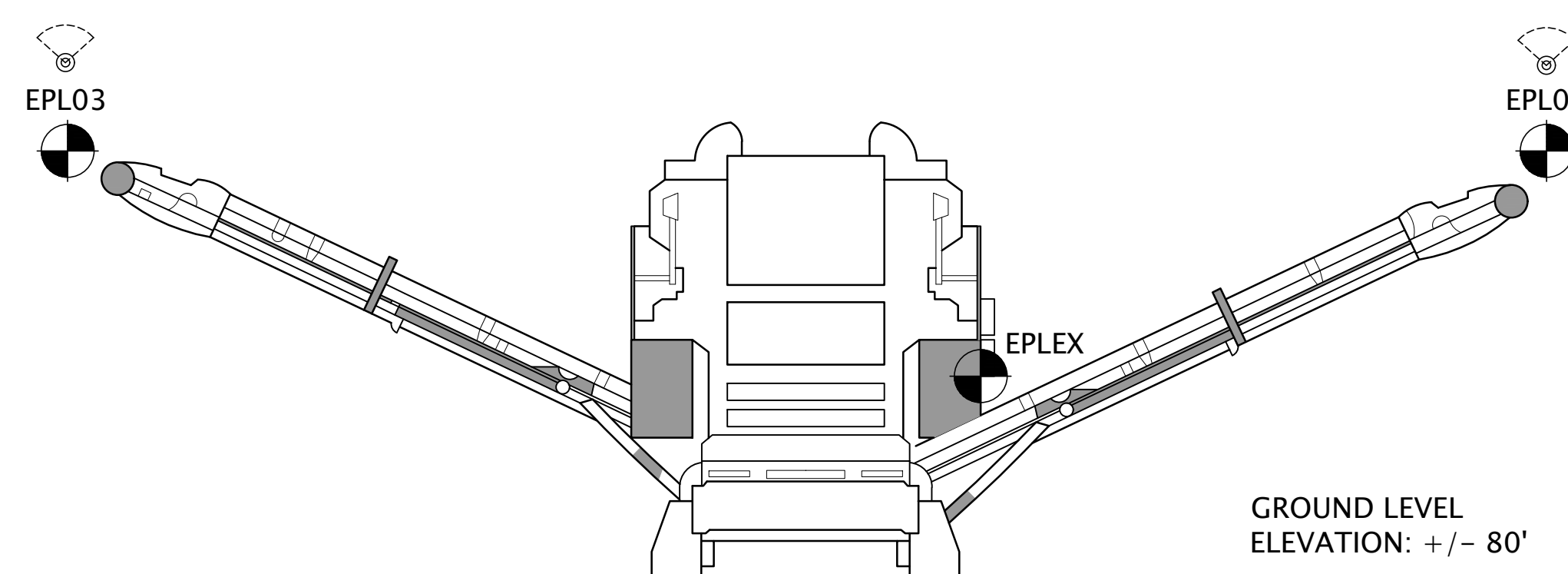
Copyright 2025 - CLA Site Landscape Architecture, Engineering, & Planning P.C. It is a violation of the New York State Education Law for any unauthorized alterations to this document as per Article 145 and 147.

Project No. 20-1176 Drawn By: SZ
Date: 09/04/2024 Checked By: PMA
Sheet 04 of 18

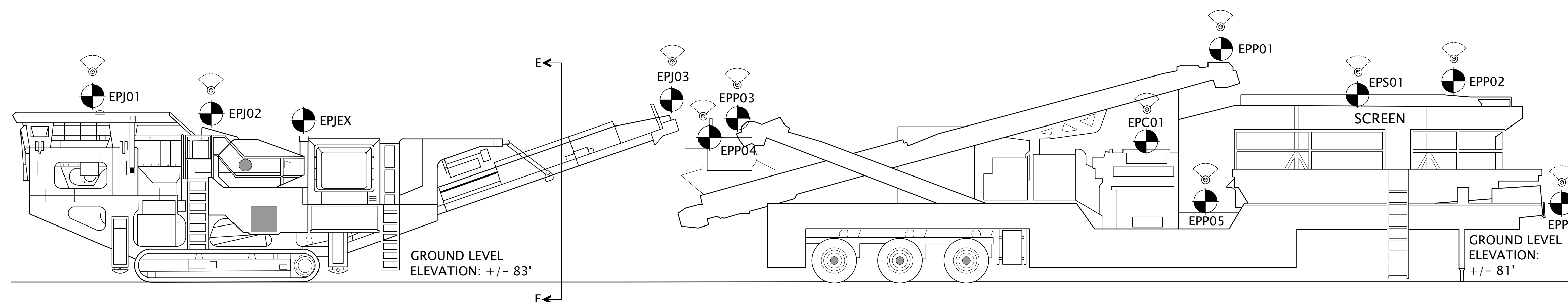
RECYCLING EQUIPMENT
EMISSION POINT
LOCATIONS
CLA-04



AA SANDVIK QE442 SCALPING SCREEN - SIDE VIEW
SCALE: 1" = 5'

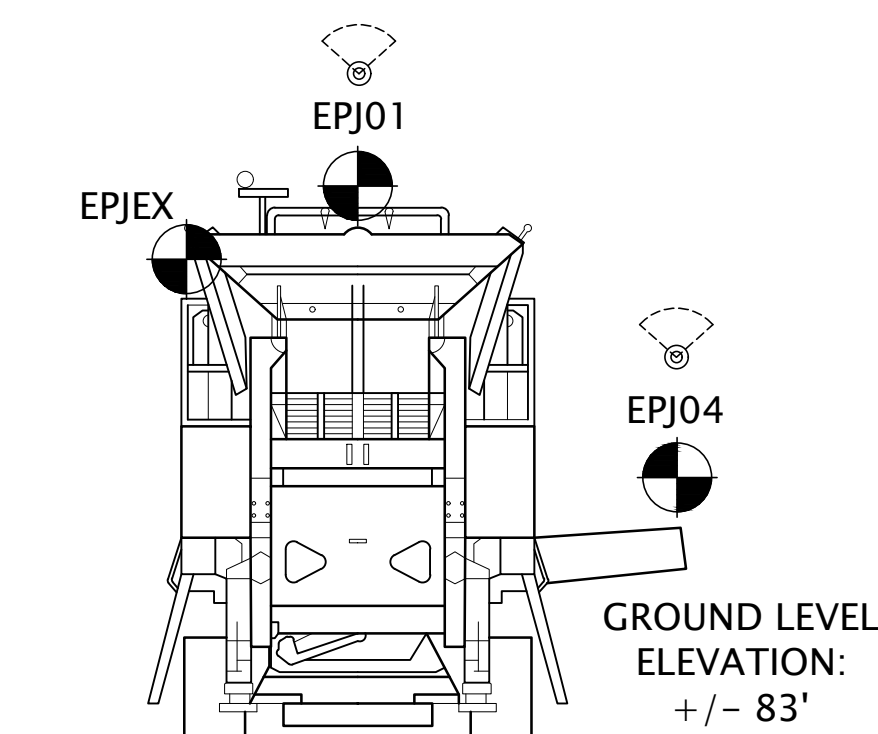


BB SANDVIK QE442 SCALPING SCREEN - END VIEW
SCALE: 1" = 5'

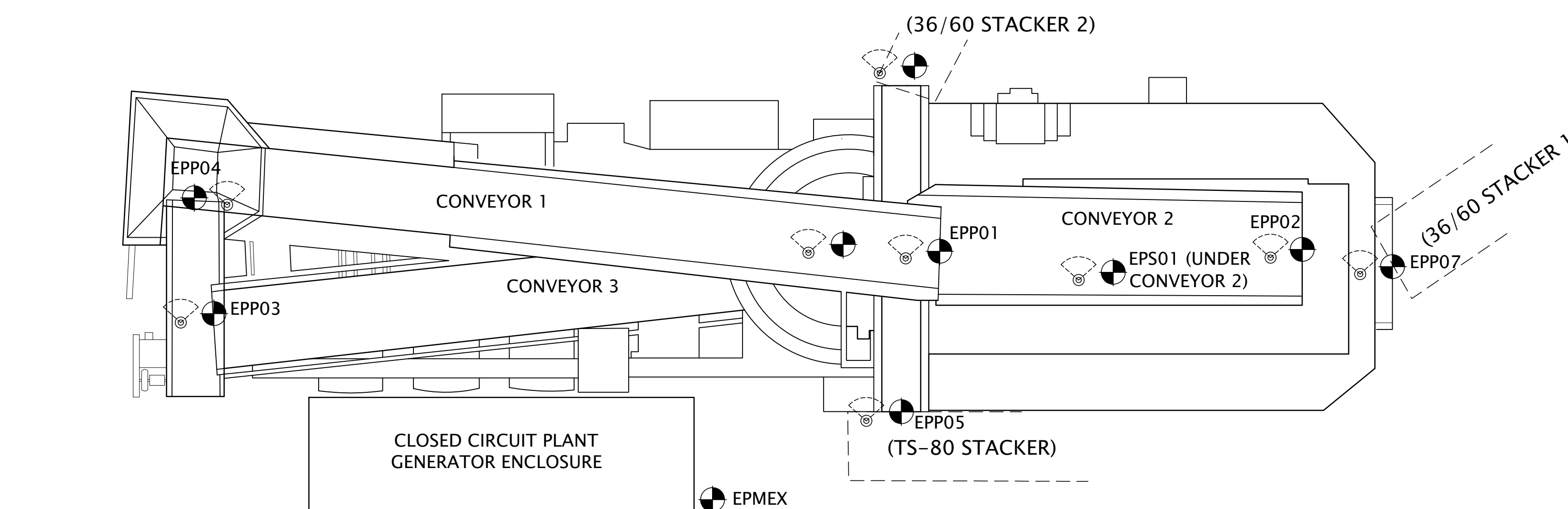


CC SANDVIK QJ341 JAW CRUSHER - SIDE VIEW
SCALE: 1" = 5'

DD SUPERIOR CLOSED CIRCUIT PLANT - SIDE VIEW
SCALE: 1" = 5'



EE SANDVIK QJ341 JAW CRUSHER - END VIEW
SCALE: 1" = 5'



FF SUPERIOR CLOSED CIRCUIT PLANT - TOP VIEW
SCALE: 1" = 5'

Scalper Emission Point Elevations (Feet Above Ground Elevation)	
EPL01	14'-6"
EPL02	12'-1"
EPL03	14'-2"
EPL04	14'-7"
EPL05	14'-5"

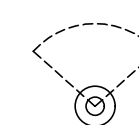
Jaw Crusher Emission Point Elevations (Feet Above Ground Elevation)	
EPJ01	14'-5"
EPJ02	13'-0"
EPJ03	14'-0"
EPJ04	6'-10"

Closed Circuit Plant Emission Point Elevations (Feet Above Ground Elevation)	
EPP01	18'-0"
EPP02	15'-6"
EPP03	12'-9"
EPP04	11'-0"
EPP05	5'-10"
EPP06	5'-10"
EPP07	6'-0"
EPC01	11'-1"
EPS01	14'-6"

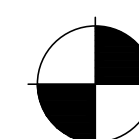
Engine Exhaust Emission Point Elevations (Feet Above Ground Elevation)	Stack Diameter (Inches)
EPJEX	12'-6"
EPJEX	11'-3"
EPJEX	7'-10"
EPJEX*	1'-0"
	0'-8"
	0'-5"
	0'-3"
	0'-2"

*SEE CLA-004

LEGEND:



DUST CONTROL
SPRAYHEAD



EMISSION POINT

NOTE:

STOCKPILES ARE GENERATED BY STACKERS AND CONVEYORS ON THE MOBILE JAW CRUSHER AND SCALPING SCREEN. AGGREGATE EMISSIONS FROM ALL STOCKPILES ARE REPRESENTED BY EMISSION POINT EPSTP.

OPERATOR/APPLICANT :

Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:

Bilotta Realty of Westchester,
Inc. and Briga Enterprises Inc.
2099 Albany Post Rd,
Montrose, NY 10548
Phone: 914.737.7891

Phase 2
Dakota
Recycling Services
and
Dakota
Concrete Services

Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn

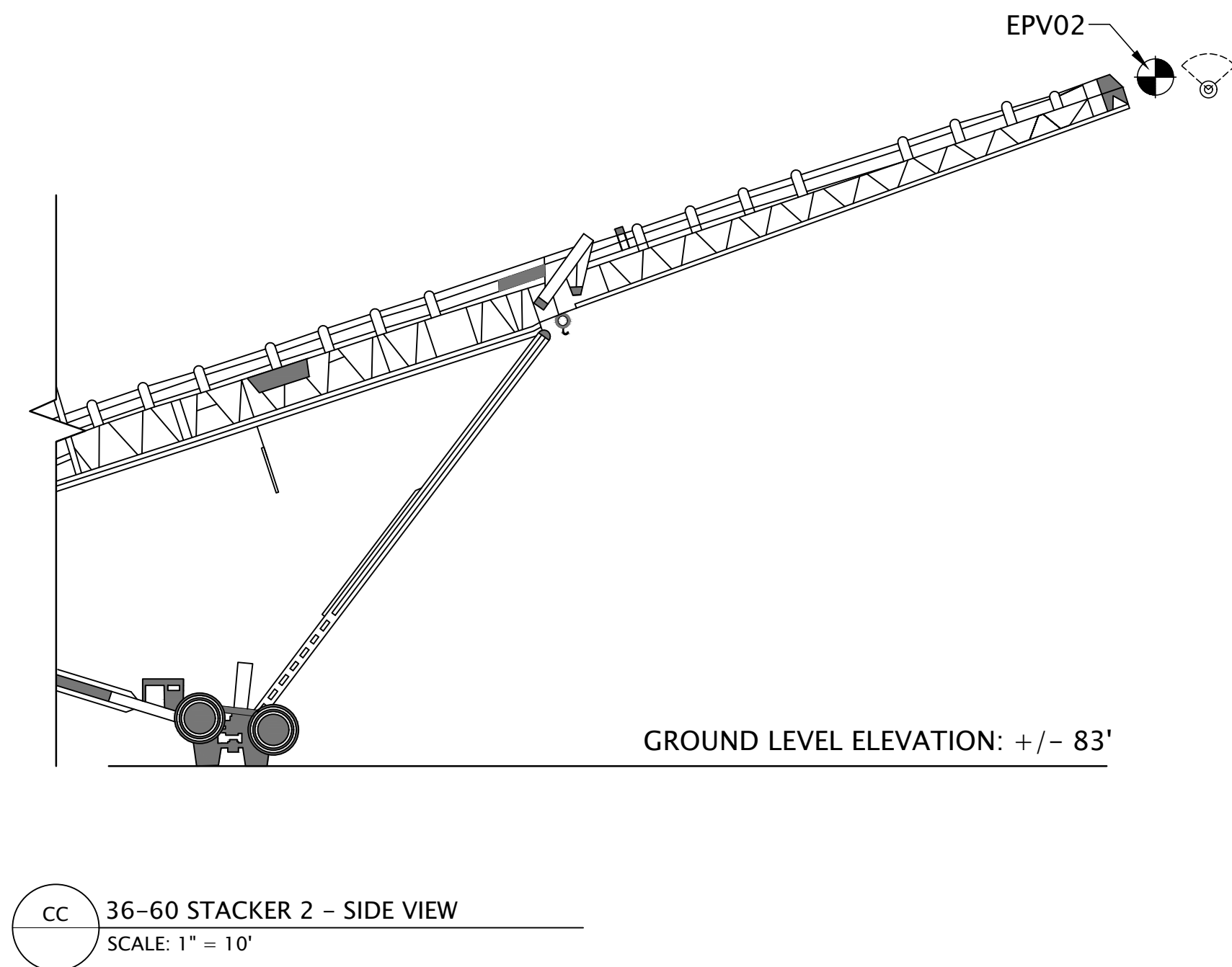
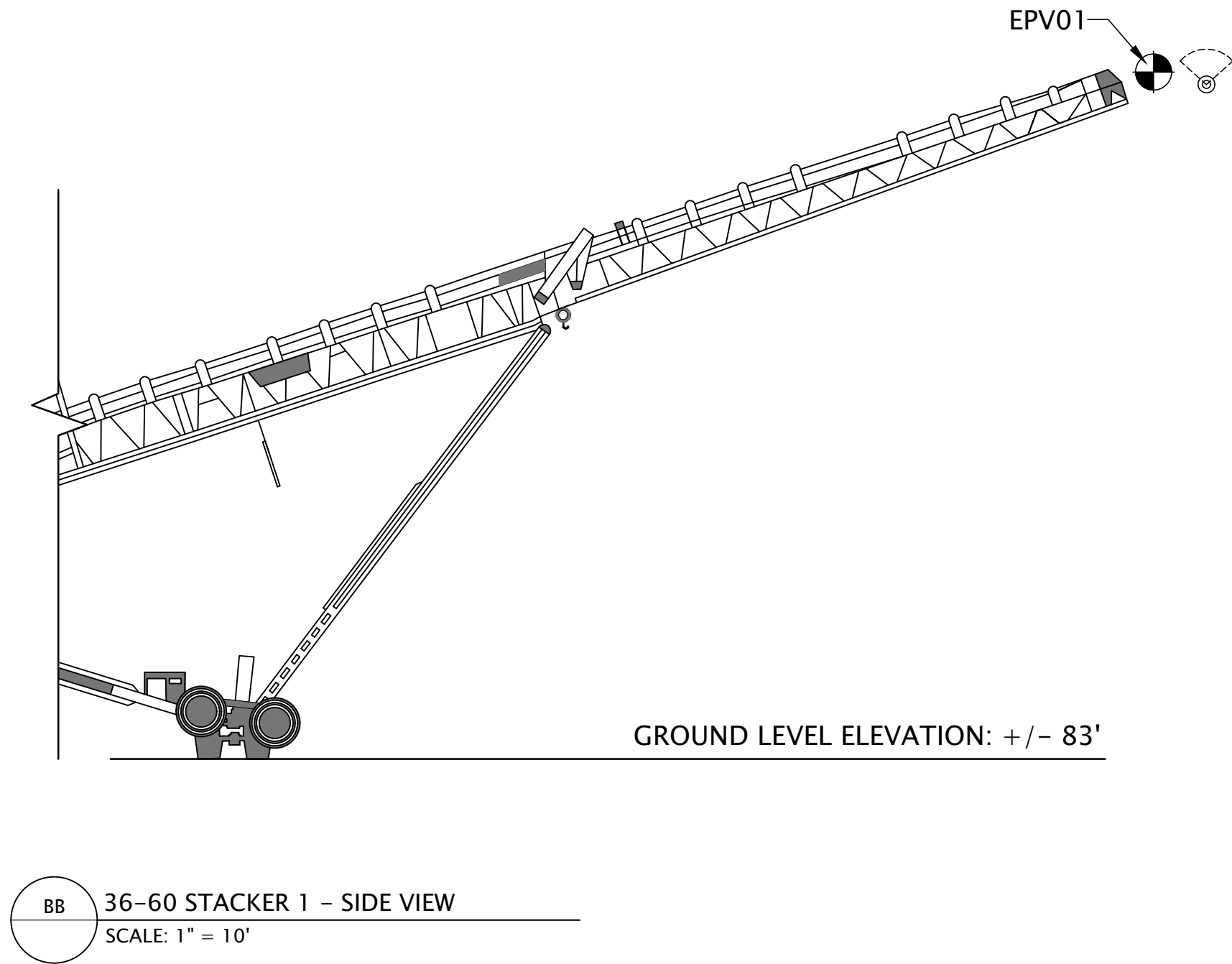
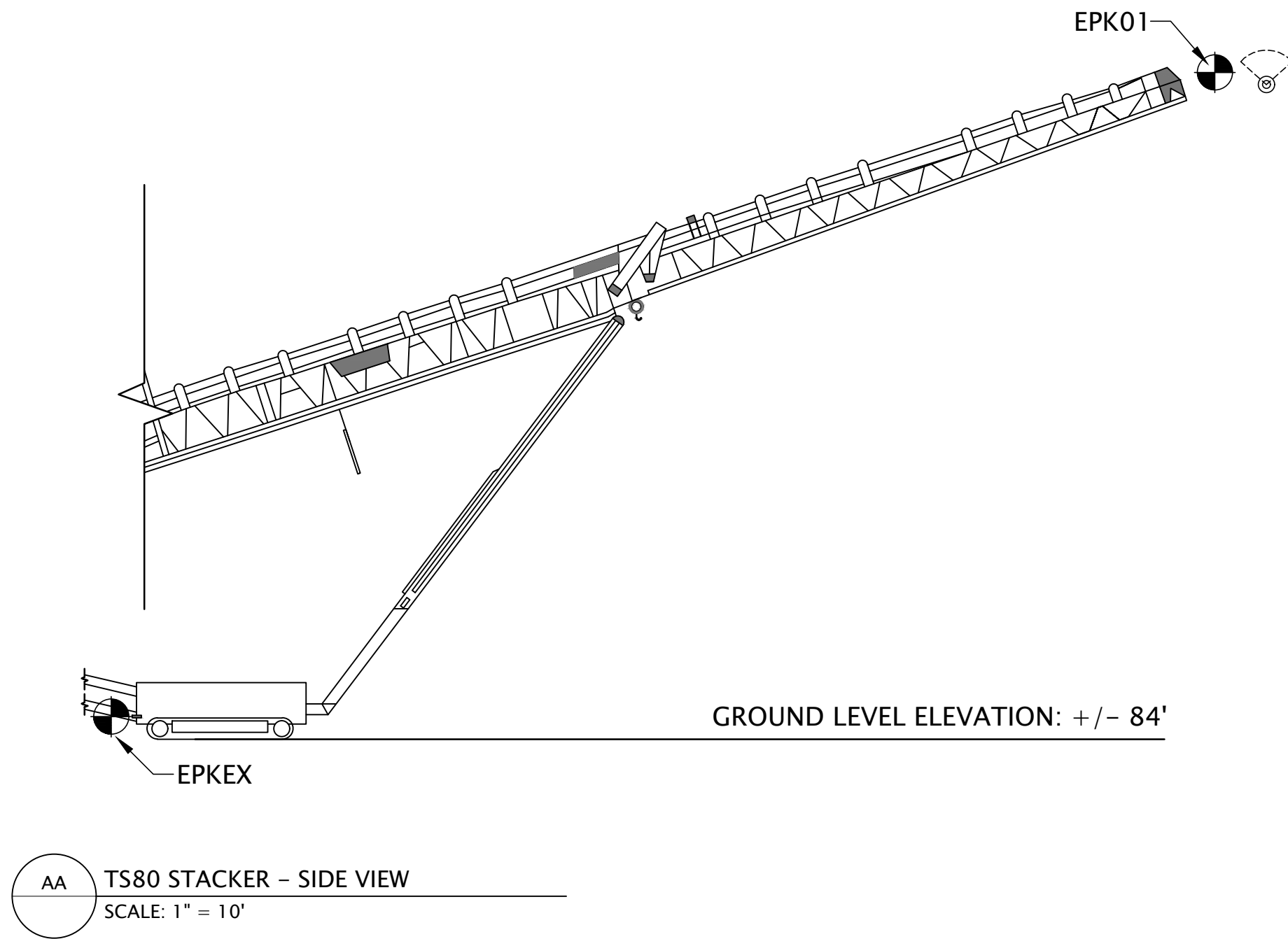
Copyright 2025 - CLA Site Landscape Architecture, Engineering, & Planning P.C. It is a violation of the New York State Education Law for any unauthorized alterations to this document as per Article 145 and 147.

Project No. 20-1176 Drawn By: SZ

Date: 09/04/2024 Checked By: PMA

Sheet 05 of 18

RECYCLING EQUIPMENT
EMISSION POINT
LOCATIONS
CLA-05



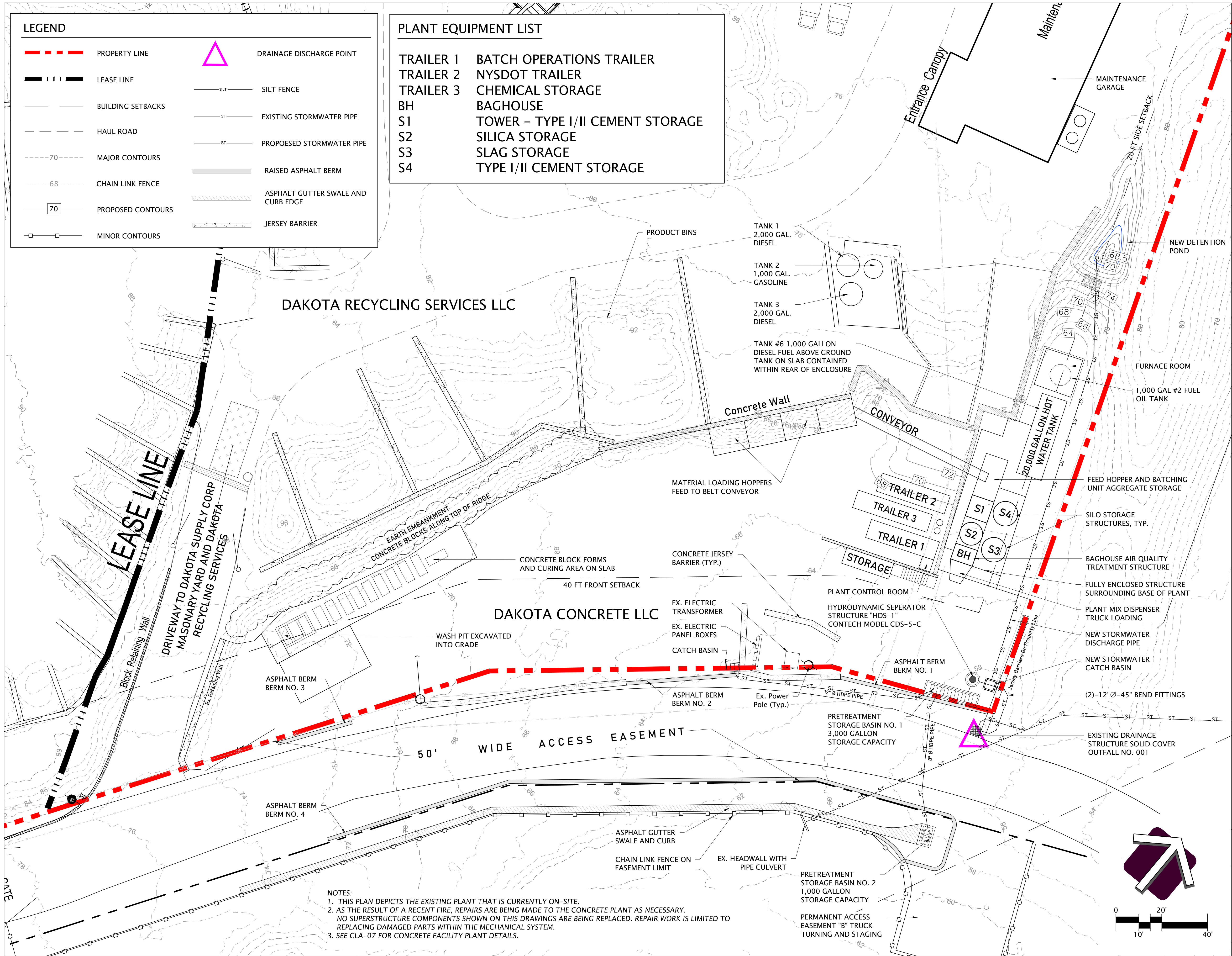
LEGEND:

-  DUST CONTROL
SPRAYHEAD
-  EMISSION POINT

Stacker Drop Point Elevations (Feet Above Ground Elevation)		
EPK01	TS-80 STACKER	20'-0"
EPV01	36-60 STACKER 1	20'-0"
EPV02	36-60 STACKER 2	20'-0"

NOTE:

STACKPILES ARE GENERATED BY STACKERS AND CONVEYORS ON THE MOBILE JAW CRUSHER AND SCALPING SCREEN. AGGREGATE EMISSIONS FROM ALL STOCKPILES ARE REPRESENTED BY EMISSION POINT EPSTP.



OPERATOR/APPLICANT :
Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:
Bilotta Realty of Westchester,
Inc. and Briga Enterprises Inc.
2099 Albany Post Rd,
Montrose, NY 10548
Phone: 914.737.7891

**Phase 2
Dakota
Recycling Services
and
Dakota
Concrete Services**

**Town of Cortlandt,
Westchester, New York**

Date	Revision	Drawn

Copyright 2025 - CLA Site Landscape Architecture, Engineering, & Planning P.C. It is a violation of the New York State Education Law for any unauthorized alterations to this document as per Article 145 and 147.

Project No. 20-1108 Drawn By: SEM
Date: 05/27/2025 Checked By: PAL
Sheet 06 of 18

**CONCRETE FACILITY
SITE PLAN
CLA-06**

Briarcliff Manor, New York 10510
Phone: 914.762.3415

**Bilotta Realty of Westchester,
Inc. and Briga Enterprises Inc.
2099 Albany Post Rd,
Montrose, NY 10548
Phone: 914.737.7891**

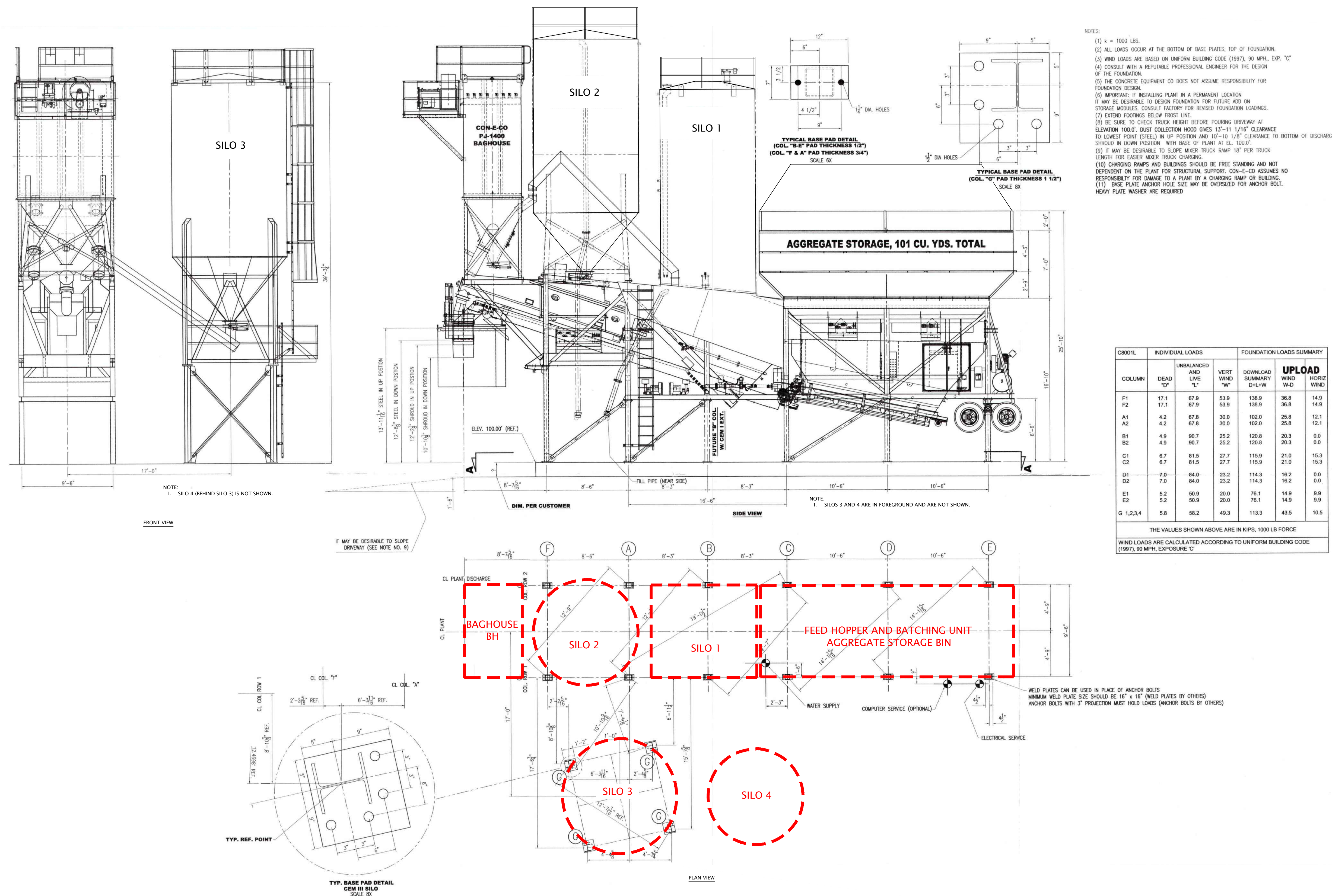
Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn

Copyright 2025 - CLA Site Landscape Architecture, Engineering, & Planning P.C. It is a violation of the New York State Education Law for any unauthorized alterations to this document as per Article 145 and 147.

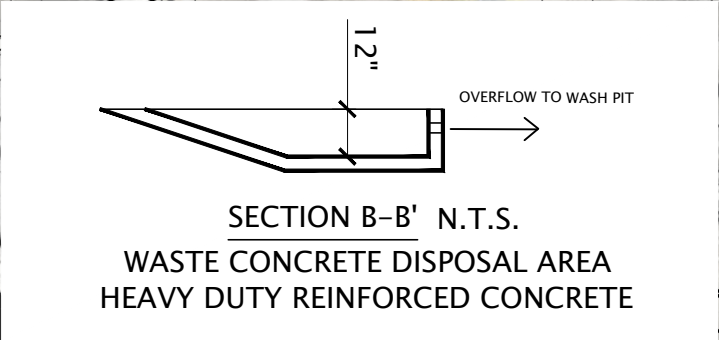
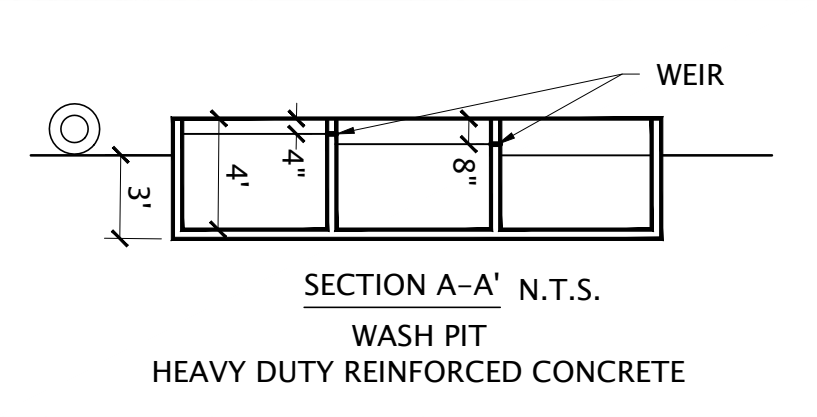
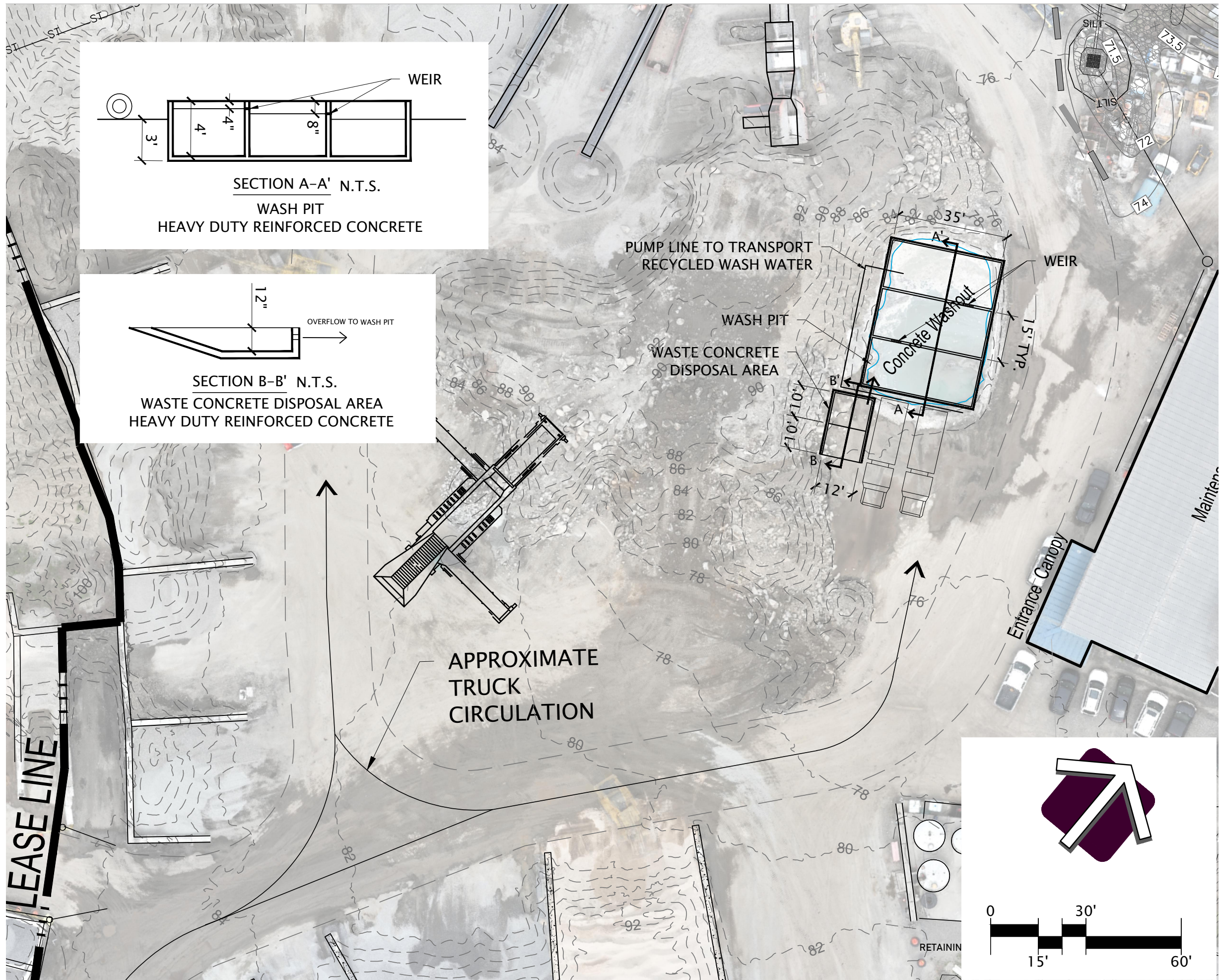
Project No. 20-1104 Drawn By: SEM
Date: 05/27/2025 Checked By: PAL
Sheet 07 of 18

CONCRETE EQUIPMENT
DETAILS
CLA-07



NOTES:

1. THIS PLAN DEPICTS THE EXISTING PLANT THAT IS CURRENTLY ON-SITE.
2. AS THE RESULT OF A RECENT FIRE, REPAIRS ARE BEING MADE TO THE CONCRETE PLANT AS NECESSARY. NO SUPERSTRUCTURE COMPONENTS SHOWN ON THIS DRAWINGS ARE BEING REPLACED. REPAIR WORK IS LIMITED TO REPLACING DAMAGED PARTS WITHIN THE MECHANICAL SYSTEM.
3. EQUIPMENT IN RED ADDED FOR CLARIFICATION.
4. SEE C1 A-06 FOR CONCRETE FACILITY SITE PLAN.



58 Church Street, Suite 200
Saratoga Springs,
New York 12866
Phone: 518.584.8661
www.clasite.com

OPERATOR/APPLICANT :

Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:

Bilotta Realty of Westchester, Inc.
and Briga Enterprises Inc.
2099 Albany Post Rd,
Montrose, NY 10548
Phone: 914.737.7891

Phase 2 Dakota Recycling Services and Dakota Concrete Services

Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn
05/27/25	Base map info update	WD

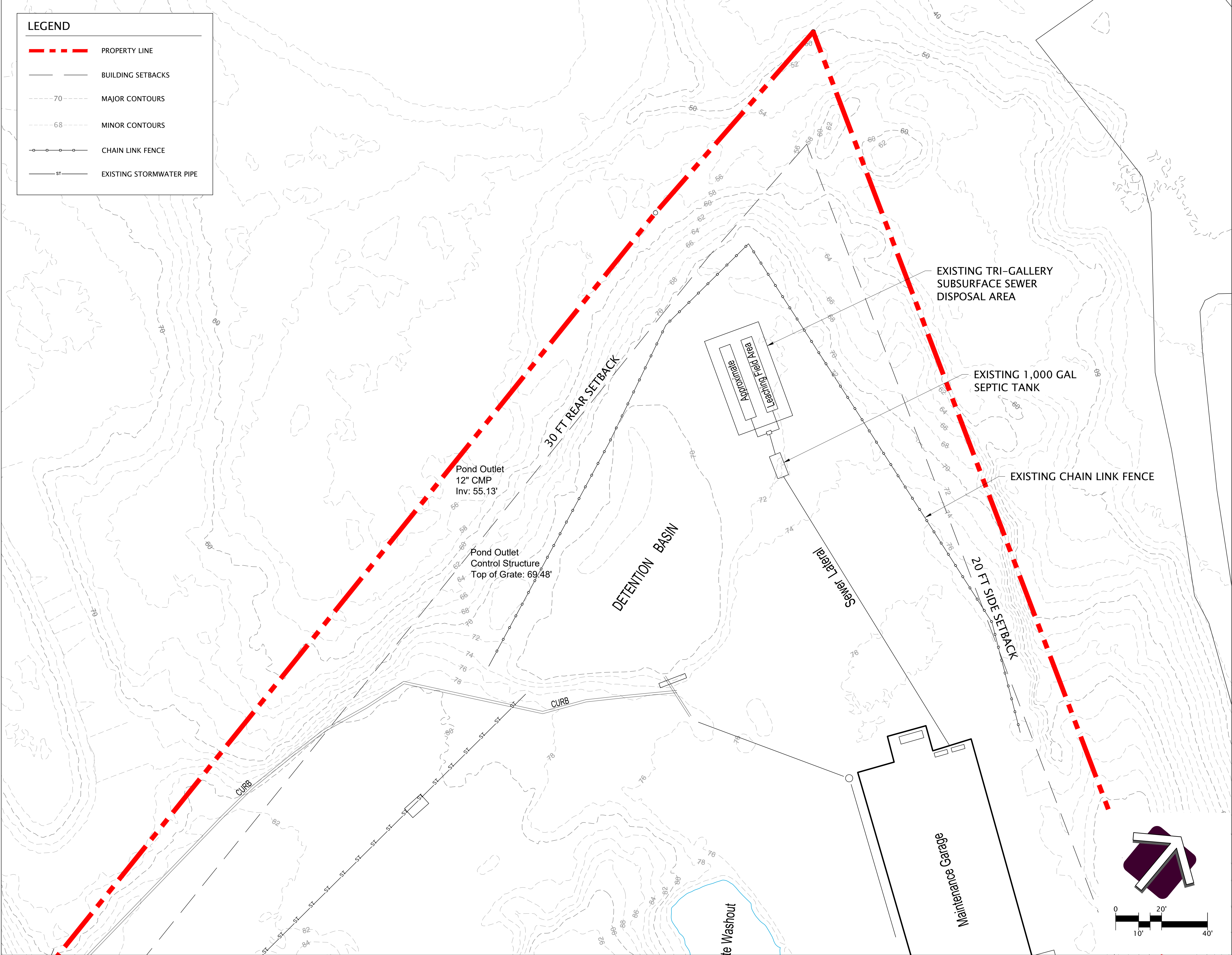
Copyright 2020 - CLA Site Landscape
Architecture, Engineering, & Planning P.C. It
Is A Violation Under the New York State
Education Law For Any Unauthorized
Alterations to This Document As Per Article
145 And 147.

Drawn By: SRZ/WD

Project No. 20-24-1104

Date: 12/20/2024

CONCRETE TRUCK WASHOUT LAYOUT PLAN CLA-08



OPERATOR/APPLICANT :
Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:
Bilotta Realty of Westchester,
Inc. and Briga Enterprises Inc.
2099 Albany Post Rd,
Montrose, NY 10548
Phone: 914.737.7891

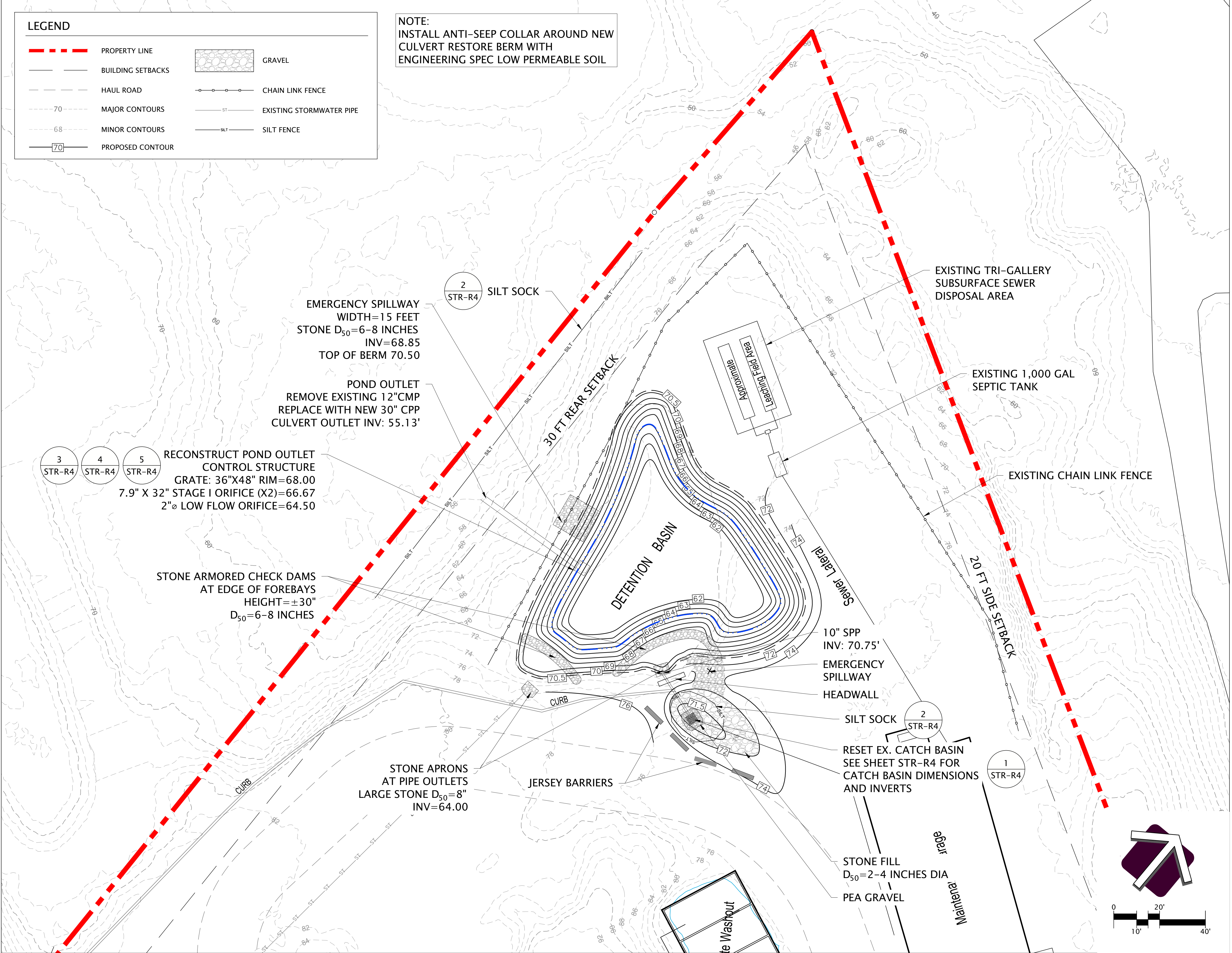
**Phase 2
Dakota
Recycling Services
and
Dakota
Concrete Services**

**Town of Cortlandt,
Westchester, New York**

Date	Revision	Drawn
05/27/2025	Adding septic system information	WD

Copyright 2025 - CLA Site Landscape Architecture, Engineering, & Planning P.C. It is a violation of the New York State Education Law for any unauthorized alterations to this document as per Article 145 and 147.

Project No. 20-1104 Drawn By: WD
Date: 12/20/2024 Checked By: PMA
Sheet 12 of 18



OPERATOR/APPLICANT :
Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:
Bilotta Realty of Westchester,
Inc. and Briga Enterprises Inc.
2099 Albany Post Rd,
Montrose, NY 10548
Phone: 914.737.7891

Phase 2
Dakota
Recycling Services
and
Dakota
Concrete Services

Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn
05/27/2025	Pond Update	WD

Copyright 2025 - CLA Site Landscape Architecture, Engineering, & Planning P.C. It is a violation of the New York State Education Law for any unauthorized alterations to this document as per Article 145 and 147.

Project No. 20-1104 Drawn By: WD
Date: 12/20/2024 Checked By: PMA
Sheet 13 of 18

RECYCLING DETENTION POND
PROPOSED CONDITIONS
STR-R3

OPERATOR/APPLICANT :

Contact: Jeff Manganello

Thalle Industries, Inc.

51 Route 100

Briarcliff Manor, New York 10510

Phone: 914.762.3415

PROPERTY OWNER:

Bilotta Realty of Westchester,

Inc. and Briga Enterprises Inc.

2099 Albany Post Rd,

Montrose, NY 10548

Phone: 914.737.7891

Phase 2
Dakota
Recycling Services
and
Dakota
Concrete Services

Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn
05/27/2025	Orifice Detail Update	WD

Copyright 2025 - CLA Site Landscape Architecture, Engineering, & Planning P.C. It is a violation of the New York State Education Law for any unauthorized alterations to this document as per Article 145 and 147.

Project No. 20-1104

Drawn By: WD

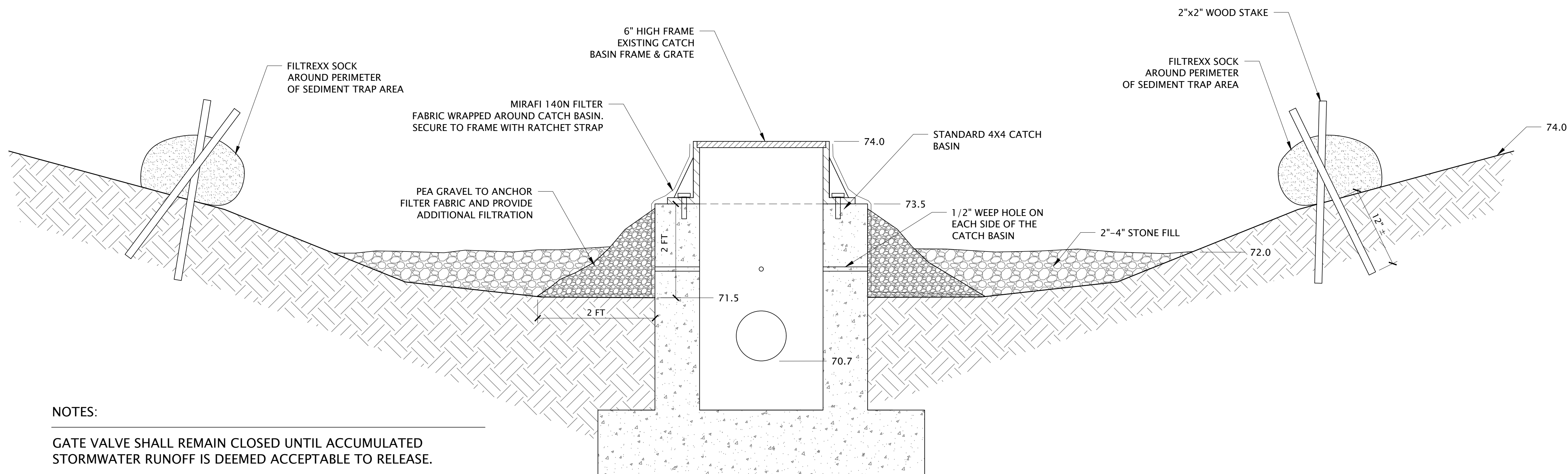
Date: 12/20/2024

Checked By: PMA

Sheet 14 of 18

RECYCLING DETENTION POND DETAILS

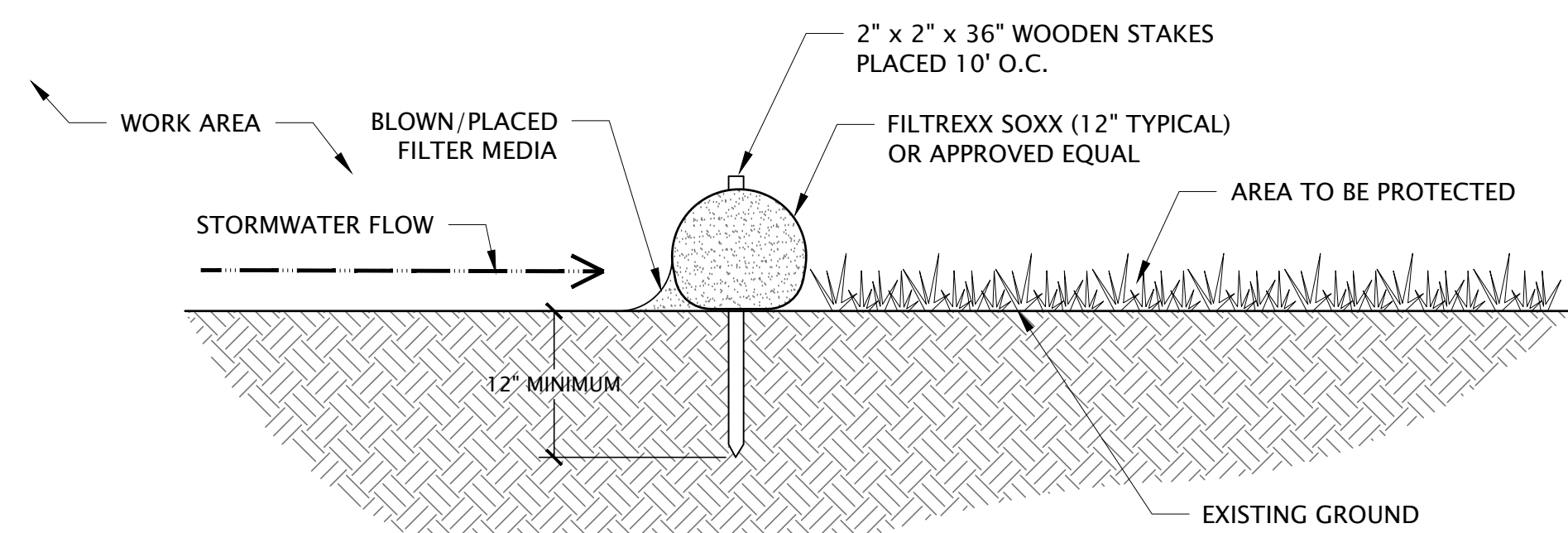
STR-R4



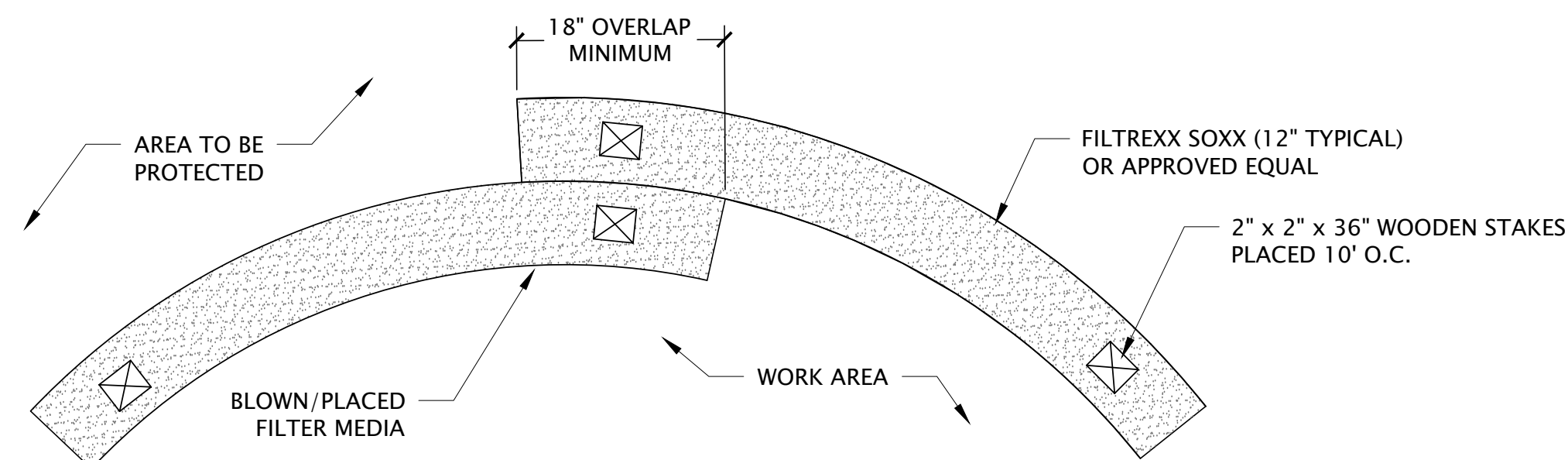
NOTES:

GATE VALVE SHALL REMAIN CLOSED UNTIL ACCUMULATED
STORMWATER RUNOFF IS DEEMED ACCEPTABLE TO RELEASE.

1 CATCH BASIN
STR-R4 SCALE: NOT TO SCALE



SILT SOCK SECTION NTS

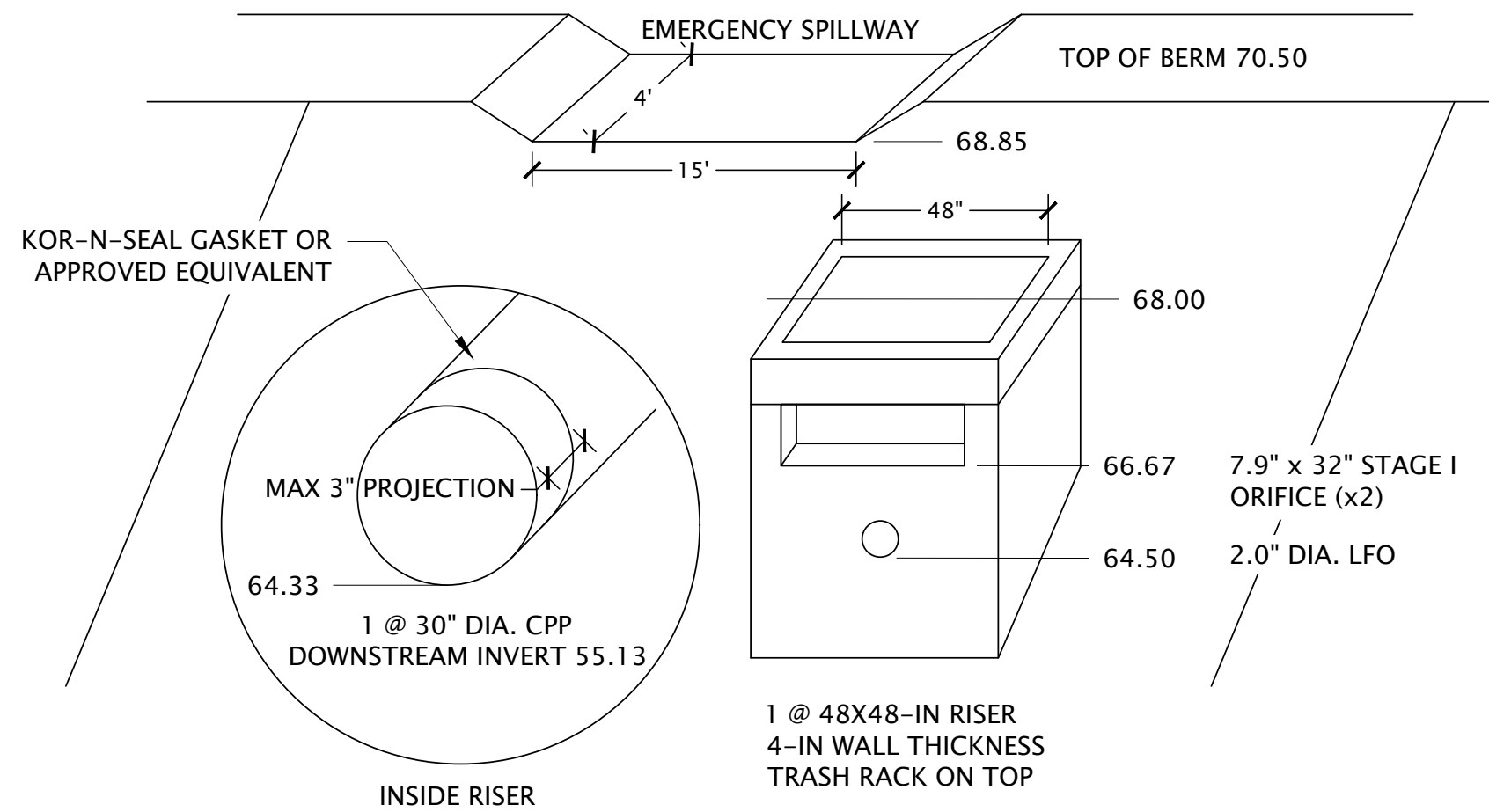


SILT SOCK PLAN NTS

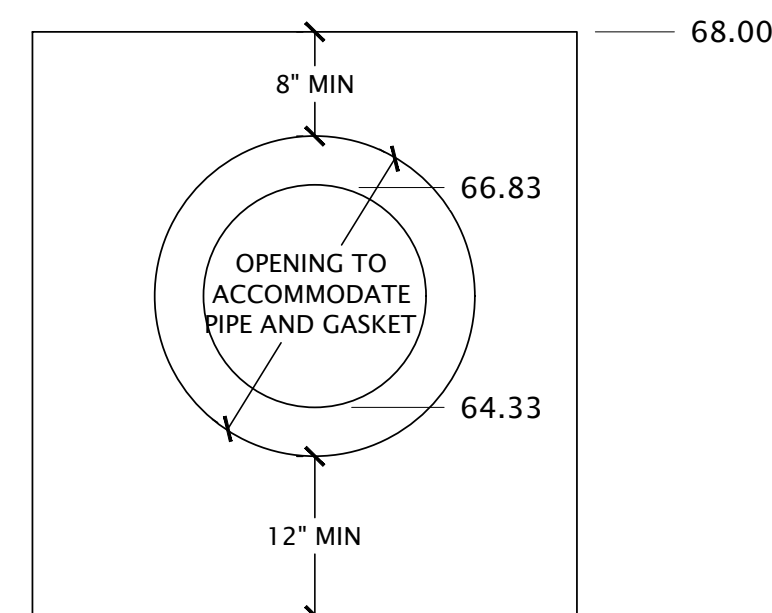
NOTES:

1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS, OR APPROVED EQUAL.
2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

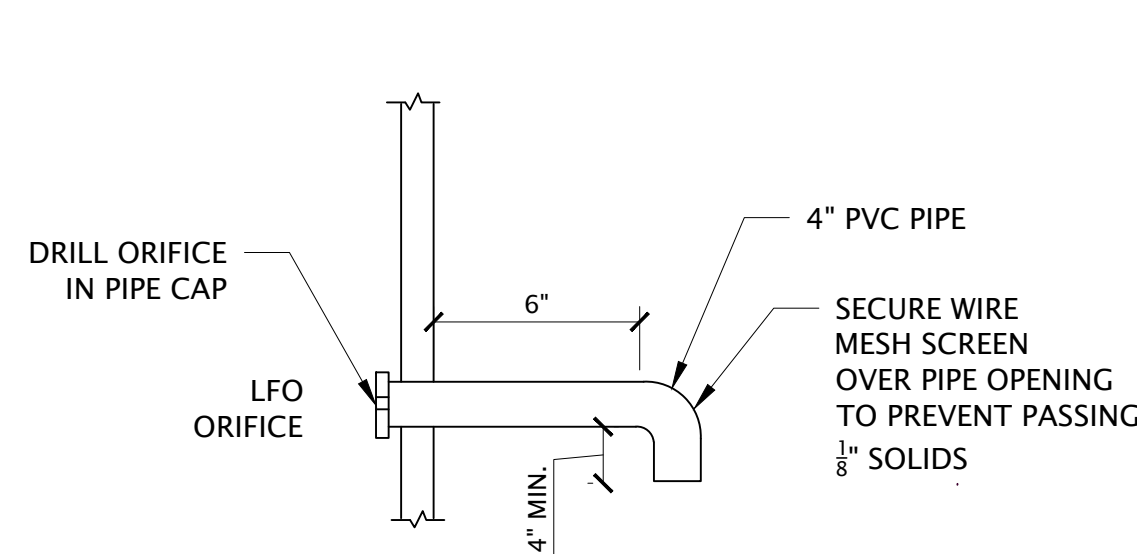
2 FILTER SOCK, SILT FENCE OR APPROVED EQUAL
STR-R4 SCALE: NOT TO SCALE



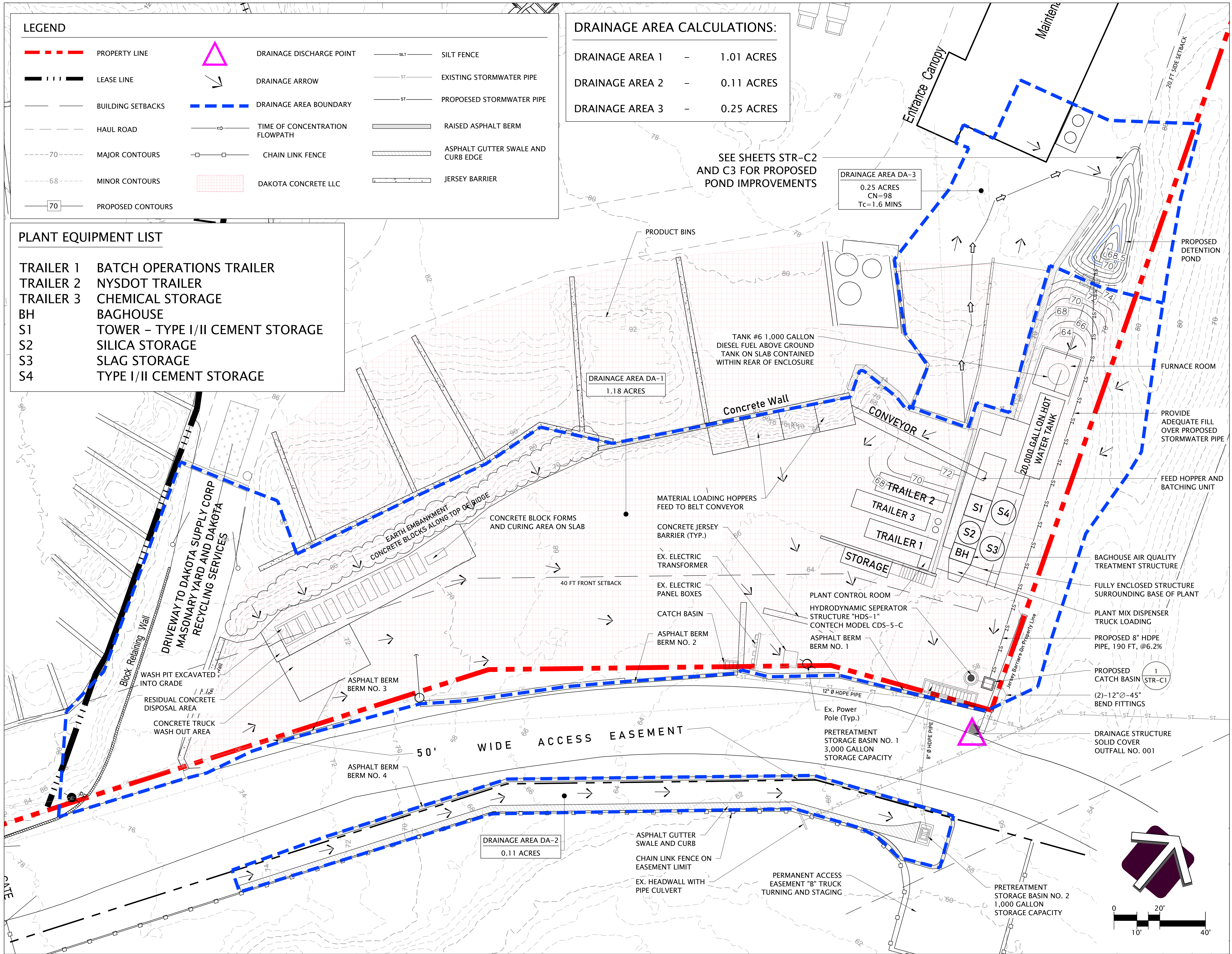
3 POND OUTLET CONFIGURATION
STR-R4 SCALE: NOT TO SCALE



4 RISER OUTLET DETAIL
STR-R4 SCALE: NOT TO SCALE



5 ORIFICE PROTECTION DETAIL
STR-R4 SCALE: NOT TO SCALE



OPERATOR/APPLICANT :
Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:
Bilotta Realty of Westchester,
Inc. and Briga Enterprises Inc.
2099 Albany Post Rd,
Montrose, NY 10548
Phone: 914.737.7891

**Phase 2
Dakota
Recycling Services
and
Dakota
Concrete Services**

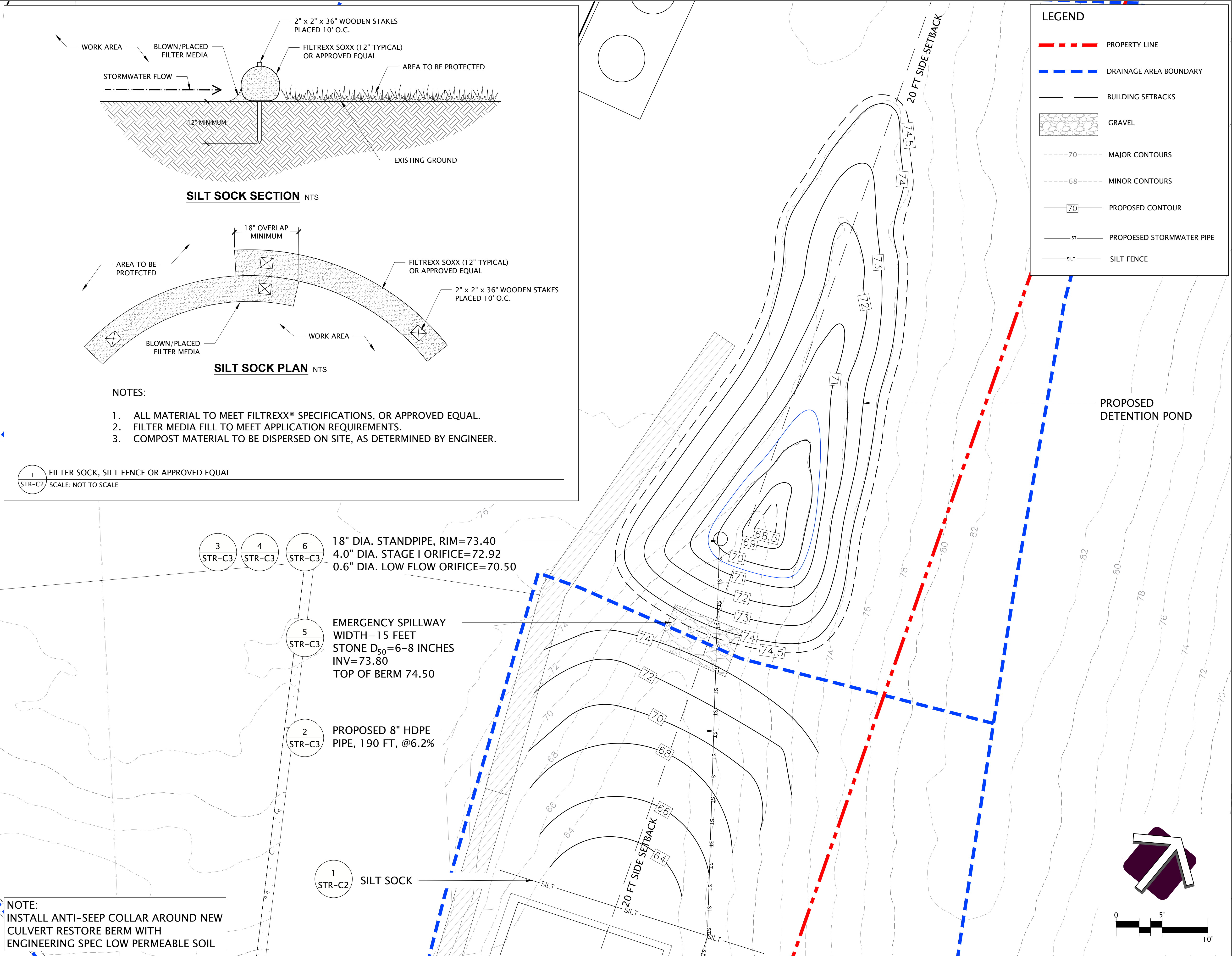
**Town of Cortlandt,
Westchester, New York**

Date	Revision	Drawn
04/11/2025	Adjusted text and utility pipes, other adjustments	ALG
05/27/2025	Added proposed stormwater system	WD

Copyright 2025 - CLA Site Landscape Architecture, Engineering, & Planning P.C. It is a violation of the New York State Education Law for any unauthorized alterations to this document as per Article 145 and 147.

Project No. 20-1108 Drawn By: WD
Date: 03/25/2025 Checked By: PMA
Sheet 15 of 18

**CONCRETE SWPPP
DRAINAGE PLAN
STR-C1**



OPERATOR/APPLICANT :
Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:
Bilotta Realty of Westchester,
Inc. and Briga Enterprises Inc.
2099 Albany Post Rd,
Montrose, NY 10548
Phone: 914.737.7891

Phase 2
Dakota
Recycling Services
and
Dakota
Concrete Services

Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn

Copyright 2025 - CLA Site Landscape Architecture, Engineering, & Planning P.C. It is a violation of the New York State Education Law for any unauthorized alterations to this document as per Article 145 and 147.

Project No. 20-1108 Drawn By: WD
Date: 05/27/2025 Checked By: PMA
Sheet 16 of 18

CONCRETE DETENTION POND
PROPOSED CONDITIONS
STR-C2



58 Church Street, Suite 200
Saratoga Springs, New York 12866
Phone: 518.584.8661
www.clasite.com

51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

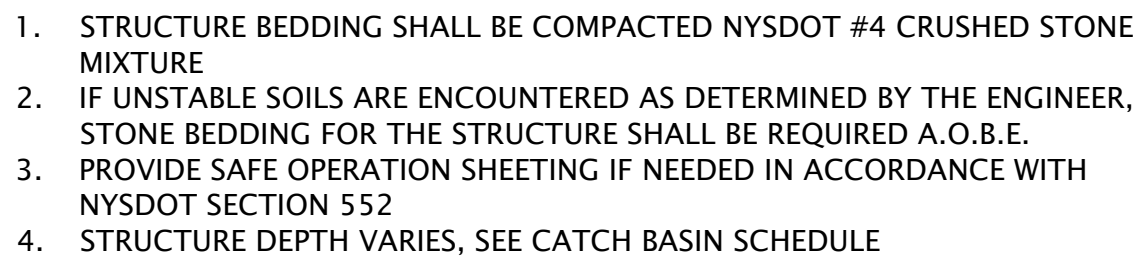
**Bilotta Realty of Westchester,
Inc. and Briga Enterprises Inc.**
2099 Albany Post Rd,
Montrose, NY 10548
Phone: 914.737.7891

Town of Cortlandt,
Westchester, New York

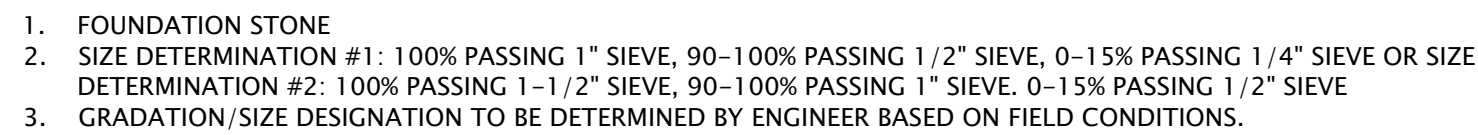
Copyright 2025 - CLA Site Landscape Architecture, Engineering, & Planning P.C. It is a violation of the New York State Education Law for any unauthorized alterations to this document as per Article 145 and 147.

Project No. 20-1108 Drawn By: WD
Date: 05/27/2025 Checked By: PMA
Sheet 17 of 18

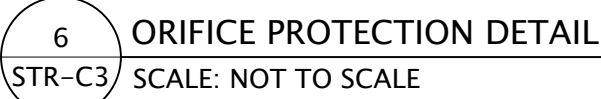
CONCRETE DETENTION POND DETAILS STR-C3

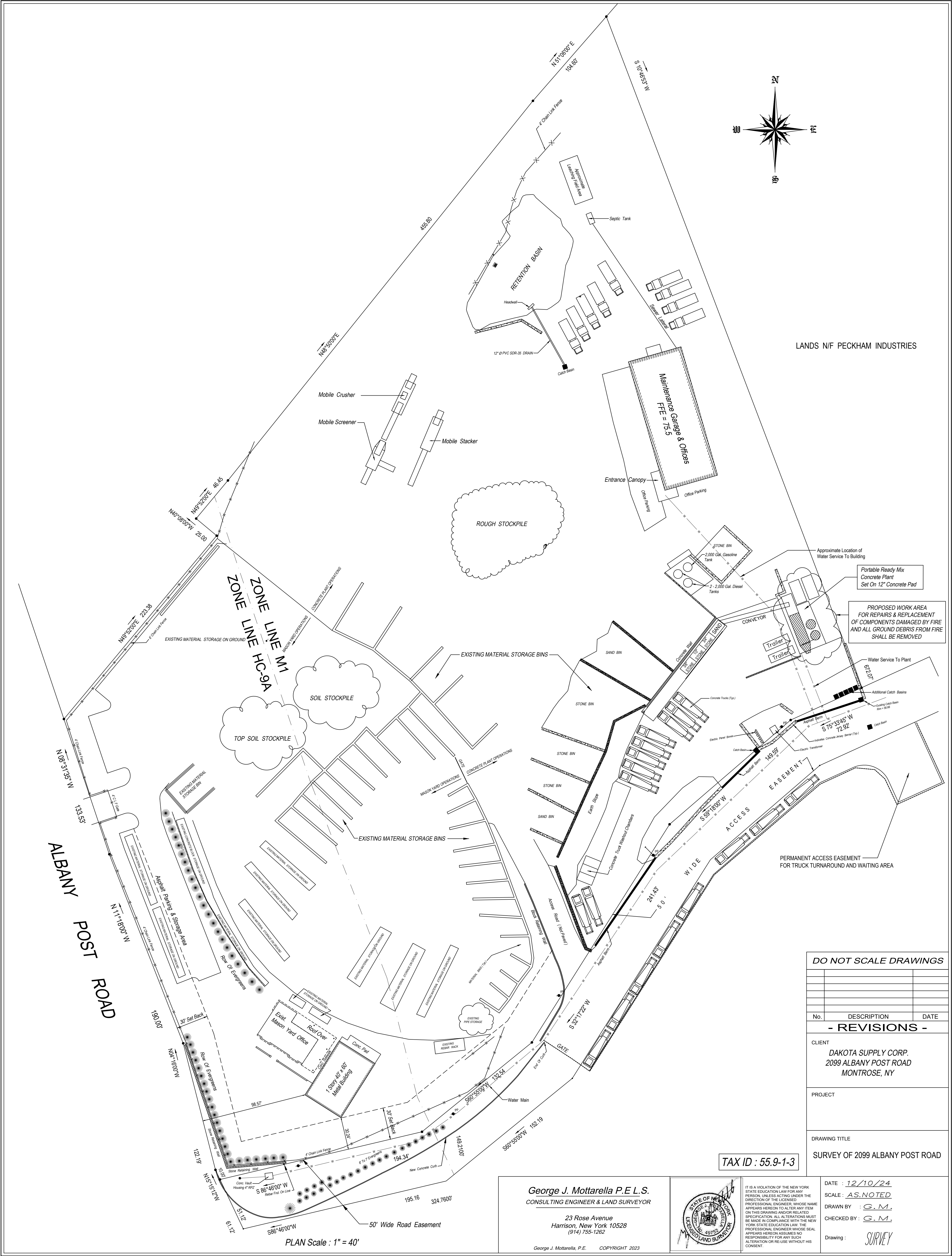


1 CATCH BASIN
STR-C3 SCALE: NOT TO SCALE



2 STORMWATER PIPING TRENCH DETAIL
STR-C3 SCALE: NOT TO SCALE





DO NOT SCALE DRAWINGS		
No.	DESCRIPTION	DATE
- REVISIONS -		
CLIENT		
DAKOTA SUPPLY CORP. 2099 ALBANY POST ROAD MONTROSE, NY		
PROJECT		
DRAWING TITLE		
SURVEY OF 2099 ALBANY POST ROAD		

TAX ID : 55.9-1-3

George J. Mottarella P.E.L.S.
CONSULTING ENGINEER & LAND SURVEYOR

23 Rose Avenue
Harrison, New York 10528
(914) 755-1262

George J. Mottarella, P.E. COPYRIGHT 2023

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED PROFESSIONAL ENGINEER, WHOSE NAME APPEARS HEREON TO ALTER ANY ITEM ON THIS DRAWING AND/OR RELATED SPECIFICATION. ALL ALTERATIONS MUST BE MADE IN COMPLIANCE WITH THE NEW YORK STATE EDUCATION LAW. THE PROFESSIONAL ENGINEER WHOSE SEAL APPEARS HEREON ASSUMES NO RESPONSIBILITY FOR ANY SUCH ALTERATION OR RE-USE WITHOUT HIS CONSENT.

DATE : 12/10/24
SCALE : AS NOTED
DRAWN BY : G.M.
CHECKED BY : G.M.
Drawing : SURVEY

LEGEND

PROPERTY LINE

MAJOR CONTOURS

MINOR CONTOURS

2003 MATERIAL STORAGE YARD

TOTAL : 3.94 ACRES

CLA Site

LANDSCAPE ARCHITECTURE ENGINEERING PLANNING, PC

Designs that Build

58 Church Street, Suite 200
Saratoga Springs, New York 12866
Phone: 518.584.8661
www.clasite.com

OPERATOR/APPLICANT :

Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:

Bilotta Realty of Westchester,
Inc. and Briga Enterprises Inc.
2099 Albany Post Rd,
Montrose, NY 10548
Phone: 914.737.7891

Phase 2
Dakota
Recycling Services
and
Dakota
Concrete Services

Town of Cortlandt,
Westchester, New York

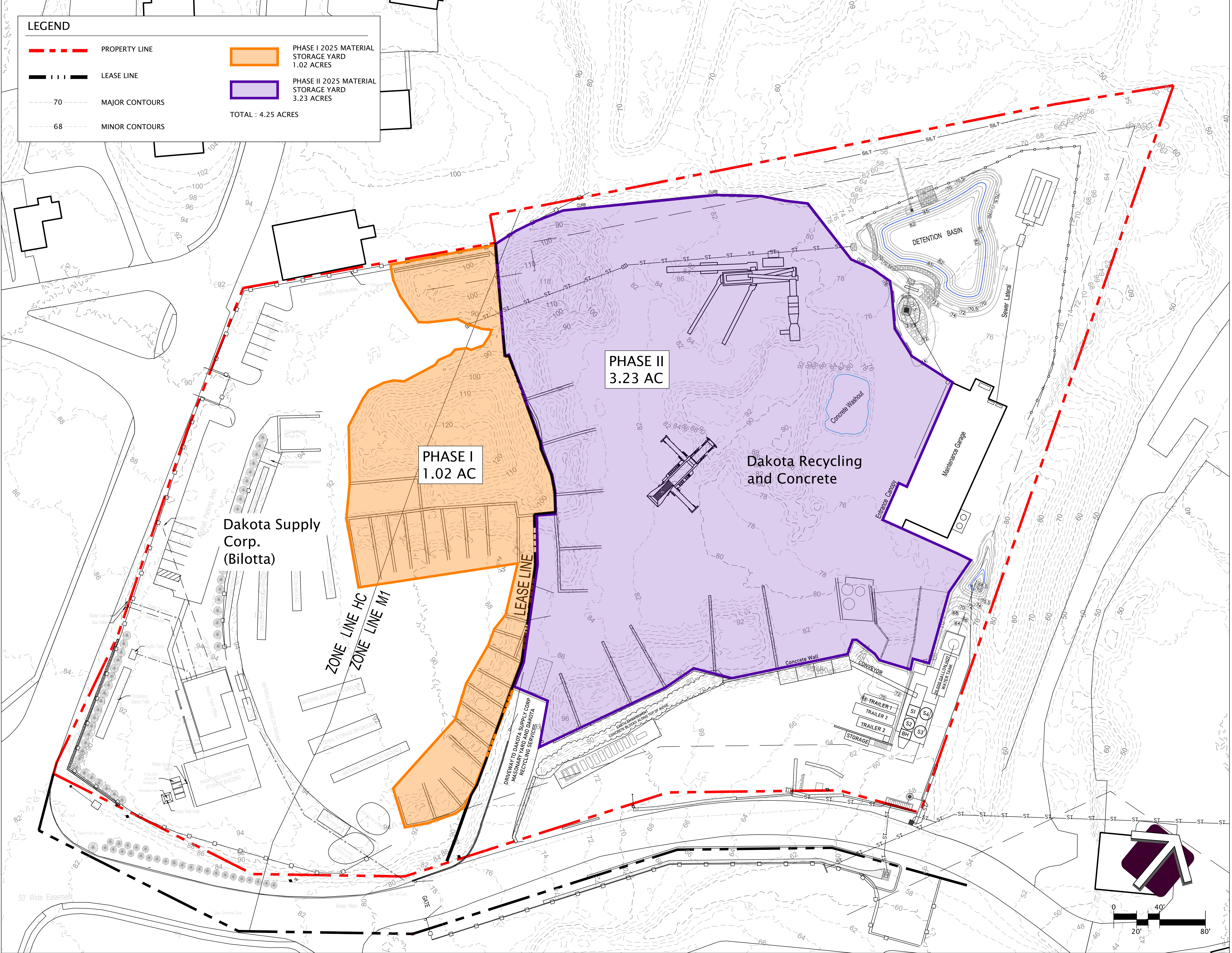
Date	Revision	Drawn

Copyright 2025 - CLA Site Landscape Architecture, Engineering, & Planning P.C. It is a violation of the New York State Education Law for any unauthorized alterations to this document as per Article 145 and 147.

Project No. 20-1104 Drawn By: WD
Date: 05/27/2025 Checked By: SEM
Sheet xx of xx

2003 Material Storage Yard

Figure 1



OPERATOR/APPLICANT :
Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:
Bilotta Realty of Westchester,
Inc. and Briga Enterprises Inc.
2099 Albany Post Rd,
Montrose, NY 10548
Phone: 914.737.7891

Phase 2 Dakota Recycling Services and Dakota Concrete Services

Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn

Copyright 2025 - CLA Site Landscape Architecture, Engineering, & Planning P.C. It is a violation of the New York State Education Law for any unauthorized alterations to this document as per Article 145 and 147.

Project No. 20-1104 Drawn By: WD
Date: 05/27/2025 Checked By: SEM
Sheet xx of xx

2025 Material Storage Yard

Figure 2

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☐ No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☐ Yes ☐ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐ Yes ☐ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐ Yes ☐ No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☐ No

If Yes, identify the plan(s):

C.3. Zoning	
a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. If Yes, what is the zoning classification(s) including any applicable overlay district?	□ Yes □ No
<div style="border-bottom: 1px solid black; height: 15px; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; height: 15px; margin-bottom: 5px;"></div>	
b. Is the use permitted or allowed by a special or conditional use permit?	□ Yes □ No
c. Is a zoning change requested as part of the proposed action? If Yes,	□ Yes □ No
i. What is the proposed new zoning for the site? _____	
C.4. Existing community services.	
a. In what school district is the project site located? _____	
b. What police or other public protection forces serve the project site? _____	
c. Which fire protection and emergency medical services serve the project site? _____	
d. What parks serve the project site? _____ _____	

D. Project Details

D.1. Proposed and Potential Development	
a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? _____	
b. a. Total acreage of the site of the proposed action?	_____ acres
b. b. Total acreage to be physically disturbed?	_____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?	_____ acres
c. Is the proposed action an expansion of an existing project or use? □ Yes □ No	
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____	
d. Is the proposed action a subdivision, or does it include a subdivision? □ Yes □ No	
If Yes,	
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____	
ii. Is a cluster/conservation layout proposed? □ Yes □ No	
iii. Number of lots proposed? _____	
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____	
e. Will the proposed action be constructed in multiple phases? □ Yes □ No	
i. If No, anticipated period of construction: _____ months	
ii. If Yes:	
• Total number of phases anticipated	_____
• Anticipated commencement date of phase 1 (including demolition)	_____ month _____ year
• Anticipated completion date of final phase	_____ month _____ year
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____ _____ _____	

f. Does the project include new residential uses? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes,	
i. Total number of structures _____ ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length iii. Approximate extent of building space to be heated or cooled: _____ square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes,	
i. Purpose of the impoundment: _____ ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____ iii. If other than water, identify the type of impounded/contained liquids and their source. _____ iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____	

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? <input type="checkbox"/> Yes <input type="checkbox"/> No (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) If Yes:	
i. What is the purpose of the excavation or dredging? _____ ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site? • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____ _____ iv. Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, describe. _____ _____ v. What is the total area to be dredged or excavated? _____ acres vi. What is the maximum area to be worked at any one time? _____ acres vii. What would be the maximum depth of excavation or dredging? _____ feet viii. Will the excavation require blasting? <input type="checkbox"/> Yes <input type="checkbox"/> No ix. Summarize site reclamation goals and plan: _____ _____ _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____ _____	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes ☐ No ☐
If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☐ No ☐
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? *Water consumption will not exceed current usage. ☐ Yes ☐ No ☐
If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☐ Yes ☐ No ☐
If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? ☐ Yes ☐ No ☐
- Is the project site in the existing district? ☐ Yes ☐ No ☐
- Is expansion of the district needed? ☐ Yes ☐ No ☐
- Do existing lines serve the project site? ☐ Yes ☐ No ☐

iii. Will line extension within an existing district be necessary to supply the project? ☐ Yes ☐ No ☐
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☐ No ☐
If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? *Septic waste will not exceed current amount generated. ☐ Yes ☐ No ☐
If Yes: There is an existing septic system that treats waste.

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? ☐ Yes ☐ No ☐
If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? ☐ Yes ☐ No ☐
- Is the project site in the existing district? ☐ Yes ☐ No ☐
- Is expansion of the district needed? ☐ Yes ☐ No ☐

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No • Will a line extension within an existing district be necessary to serve the project? <input type="checkbox"/> Yes <input type="checkbox"/> No <p>If Yes:</p> <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____ 	
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ 	
<p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):</p> <p>_____</p> <p>_____</p>	
<p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____</p> <p>_____</p> <p>_____</p>	
<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p style="text-align: right;">* Existing site, no new impervious area will be created.</p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel?</p> <p style="padding-left: 40px;">_____ Square feet or _____ acres (impervious surface)</p> <p style="padding-left: 40px;">_____ Square feet or _____ acres (parcel size)</p> <p>ii. Describe types of new point sources. _____</p> <p>_____</p>	
<p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?</p> <p>_____</p> <p>_____</p> <ul style="list-style-type: none"> • If to surface waters, identify receiving water bodies or wetlands: _____ <p>_____</p> <ul style="list-style-type: none"> • Will stormwater runoff flow to adjacent properties? <input type="checkbox"/> Yes <input type="checkbox"/> No 	
<p>iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p style="text-align: right;">* All air emission sources are existing and permitted.</p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)</p> <p>_____</p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)</p> <p>_____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)</p> <p>_____</p>	
<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p style="text-align: right;">* Site is currently covered under existing Air Permit.</p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 	

<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____</p> <p>iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____</p> <p>iv. Does the proposed action include any shared use parking? Yes <input type="checkbox"/> No <input type="checkbox"/></p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p> <p>vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____</p> <p>iii. Will the proposed action require a new, or an upgrade, to an existing substation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 		

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ _____ • Operation: _____ _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ _____ • Operation: _____ _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☐ No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☐ No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site			
a. Existing land uses. i. Check all uses that occur on, adjoining and near the project site. <input type="checkbox"/> Urban <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Rural (non-farm) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ ii. If mix of uses, generally describe: _____ _____			
b. Land uses and coverytypes on the project site.			
Land use or Coverytype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

<p>c. Is the project site presently used by members of the community for public recreation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><i>i. If Yes: explain:</i> _____</p>	
<p>d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes,</p> <p><i>i. Identify Facilities:</i></p> <p>_____</p> <p>_____</p>	
<p>e. Does the project site contain an existing dam? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p><i>i. Dimensions of the dam and impoundment:</i></p> <ul style="list-style-type: none"> • Dam height: _____ feet • Dam length: _____ feet • Surface area: _____ acres • Volume impounded: _____ gallons OR acre-feet <p><i>ii. Dam's existing hazard classification:</i> _____</p> <p><i>iii. Provide date and summarize results of last inspection:</i></p> <p>_____</p> <p>_____</p>	
<p>f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p><i>i. Has the facility been formally closed?</i> <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <ul style="list-style-type: none"> • If yes, cite sources/documentation: _____ <p><i>ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:</i></p> <p>_____</p> <p>_____</p> <p><i>iii. Describe any development constraints due to the prior solid waste activities:</i> _____</p> <p>_____</p>	
<p>g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p><i>i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:</i></p> <p>_____</p> <p>_____</p>	
<p>h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p><i>i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:</i> <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p><input type="checkbox"/> Yes – Spills Incidents database</p> <p><input type="checkbox"/> Yes – Environmental Site Remediation database</p> <p><input type="checkbox"/> Neither database</p> </div> <div style="width: 50%;"> <p>Provide DEC ID number(s): _____</p> <p>Provide DEC ID number(s): _____</p> </div> </div> <p><i>ii. If site has been subject of RCRA corrective activities, describe control measures:</i> _____</p> <p>_____</p> <p><i>iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?</i> <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes, provide DEC ID number(s): _____</p> <p><i>iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):</i></p> <p>_____</p> <p>_____</p>	

v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input type="checkbox"/> No <ul style="list-style-type: none"> If yes, DEC site ID number: _____ Describe the type of institutional control (e.g., deed restriction or easement): _____ Describe any use limitations: _____ Describe any engineering controls: _____ Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No Explain: _____ _____ 	
E.2. Natural Resources On or Near Project Site	
a. What is the average depth to bedrock on the project site? _____ feet	
b. Are there bedrock outcroppings on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %	
c. Predominant soil type(s) present on project site: _____ % _____ % _____ %	
d. What is the average depth to the water table on the project site? Average: _____ feet	
e. Drainage status of project site soils: <input type="checkbox"/> Well Drained: _____ % of site <input type="checkbox"/> Moderately Well Drained: _____ % of site <input type="checkbox"/> Poorly Drained: _____ % of site	
f. Approximate proportion of proposed action site with slopes: <input type="checkbox"/> 0-10%: _____ % of site <input type="checkbox"/> 10-15%: _____ % of site <input type="checkbox"/> 15% or greater: _____ % of site	
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, describe: _____ _____	
h. Surface water features. i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ii. Do any wetlands or other waterbodies adjoin the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No <small>* NYSDEC Environmental Mapper shows a potential wetland north of the site. Wetland will not be disturbed.</small> If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i. iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <input type="checkbox"/> Yes <input type="checkbox"/> No iv. For each identified regulated wetland and waterbody on the project site, provide the following information: <ul style="list-style-type: none"> Streams: Name _____ Classification _____ Lakes or Ponds: Name _____ Classification _____ Wetlands: Name _____ Approximate Size _____ Wetland No. (if regulated by DEC) _____ 	
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, name of impaired water body/bodies and basis for listing as impaired: _____ _____	
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input type="checkbox"/> No	
j. Is the project site in the 100-year Floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	
k. Is the project site in the 500-year Floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <ul style="list-style-type: none"> Name of aquifer: _____ 	

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p>_____</p> <p>_____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing (endangered or threatened): _____</p> <p>_____</p> <p>_____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing: _____</p> <p>_____</p> <p>_____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p> <p>_____</p>	
<p>E.3. Designated Public Resources On or Near Project Site</p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Describe possible resource(s): _____ ii. Basis for identification: _____
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Identify resource: _____ ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____ iii. Distance between project and resource: _____ miles.
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

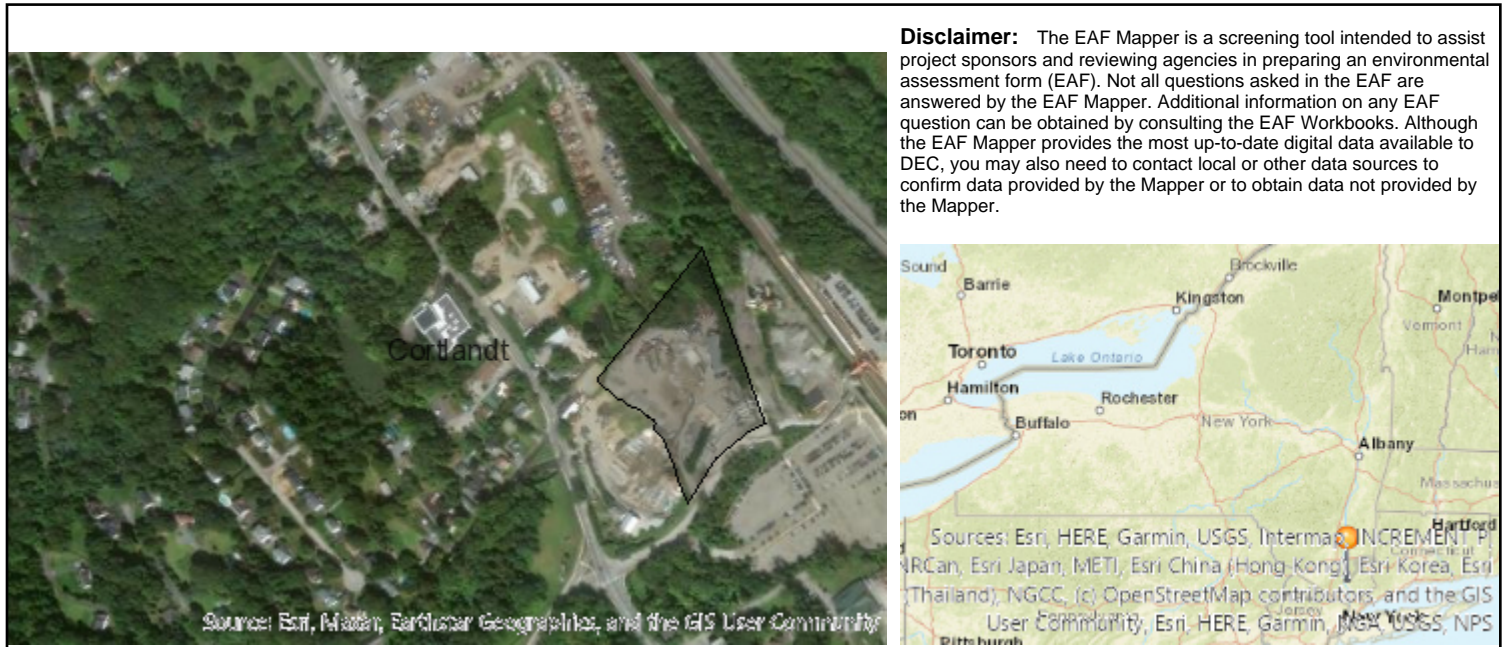
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name _____ Date _____

Signature _____  _____ Title _____



B.i.i [Coastal or Waterfront Area]	Yes
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
E.2.h.ii [Surface Water Features]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No

E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

WESTCHESTER COUNTY DEPARTMENT OF HEALTH
**PETROLEUM BULK STORAGE/GASOLINE DISPENSING SITES
 APPLICATION**

Pursuant to the Petroleum Bulk Storage Law, Articles XXV and XXVI of the Westchester County Sanitary Code

Westchester County Dept. of Health
 25 Moore Avenue
 Mount Kisco, NY 10549
 (914) 864-7278 or
 (914) 864-7279

SECTION A FACILITY INFORMATION

PBS NUMBER: 3- 801430 VAPOR RECOVERY ID: 355-	FACILITY	Facility Name Dakota Recycling Services LLC Location (number and street name, no P.O. Boxes) 2099 Albany Post Road Location (continued)		TYPE OF PETROLEUM FACILITY: (Check only one) <div style="display: flex; justify-content: space-between;"> <div> <input type="checkbox"/> Retail gasoline sales <input type="checkbox"/> Other retail sales <input checked="" type="checkbox"/> Manufacturing <input type="checkbox"/> Utility <input type="checkbox"/> Trucking/transportation <input type="checkbox"/> Apartment/office building <input type="checkbox"/> School <input type="checkbox"/> Farm <input type="checkbox"/> Auto service/repair (no gasoline sales) <input type="checkbox"/> Storage terminal/petroleum distributor <input type="checkbox"/> Religious (church, synagogue, mosque, temple, etc) <input type="checkbox"/> Hospital/nursing home/health care <input type="checkbox"/> Cemetery/memorial <input type="checkbox"/> Other, specify: </div> <div> <input type="checkbox"/> Private residence <input type="checkbox"/> Airline/air taxi/airport <input type="checkbox"/> Chemical distributor <input type="checkbox"/> Municipality <input type="checkbox"/> Railroad </div> </div>		
TRANSACTION TYPE (check all that apply) <input type="checkbox"/> Initial/New Facility* <input type="checkbox"/> Change of Ownership* <input type="checkbox"/> Substantial Modification <input checked="" type="checkbox"/> Information Change/correction <input checked="" type="checkbox"/> Renewal* *Registration fee required. For a change of ownership, submit the first page of the deed.		City/Town/Village Montrose County WESTCHESTER Operator (business entity) Thalle Industries Inc. Name of Class B Operator (On-Site)	State NY Township/City (geographical location) Town of Cortlandt Facility Telephone No. 914-762-3415 On-Site Operator DEC No.	Zip 10548 Emergency Contact Joe Perrone Emergency Phone No. 912-201-1111		
*GASOLINE DISPENSING SITES (Check all that apply) <input type="checkbox"/> Stage I Vapor Collection System <input type="checkbox"/> Stage II Vapor Collection System <input type="checkbox"/> Exempt *Registration fee required.	MAILING ADDRESS	Attention Jeff Manganello Company Name Dakota Recycling Services Address 51 Route 100 Address City/Town/Village Briarcliff Manor Telephone No. 914-762-3415		State NY Zip 10510 Email Address jmanganello@thalleindustries.com	OFFICIAL USE ONLY Last Updated: 7/11 <div style="display: flex; justify-content: space-between;"> <div>Check No.</div> <div>Issued By</div> </div> <div style="display: flex; justify-content: space-between;"> <div>Check Date</div> <div>Date Processed</div> </div> <div style="display: flex; justify-content: space-between;"> <div>Amount</div> <div>Reviewed by</div> </div>	
TANK OWNERSHIP Are there multiple tank owners at this facility? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If "Yes", attach a completed "Authorized Representative for Multiple Owners Form" for each additional tank owner.	PROPERTY OWNER	Owner Name Bilotta Realty of Westchester, Inc. Address 296 Purchase St Address City/Town/Village Rye Federal Tax ID No.		State NY Zip 10580 Owner Telephone No. 914-960-5291 Owner Type (check one) <input type="checkbox"/> Individual <input type="checkbox"/> State Government <input type="checkbox"/> Partnership <input type="checkbox"/> Local Government <input type="checkbox"/> Corporate/Commercial <input checked="" type="checkbox"/> Limited Liability Corp. (LLC) <input type="checkbox"/> Unincorporated Association	I hereby certify under penalty of perjury that the information provided on this form is true to the best of my knowledge and belief. False statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. Name of Property Owner or Legally Authorized Representative Jay Bilotta Title Signature <div style="display: flex; justify-content: space-between;"> <div>Amount Enclosed \$1,115.00</div> <div>Date</div> </div>	

Facility Name: Dakota Recycling Services LLC PBS Number: 3-801430

I, Jay Bilotta (type or print name of Primary Facility Owner), hereby certify that I am qualified under the regulatory definition to be the owner for the above-named facility as indicated below (check one box):

- ☐ I am a general partner in a partnership.
☐ I am the owner of a sole proprietorship.
☐ I am an officer of the corporation.
My title is: _____
☐ I am a principal executive officer or ranking elected official of a municipality, state, federal or other public agency.
My office/title is: _____
My agency is: _____
☐ I perform policy or decision making functions similar to that of an officer of the corporation.
Explain: _____

Check box and list tanks if the Primary Facility Owner operates tanks at this facility.

- ☐ I am the operator at this facility and responsible for the following petroleum tanks at this facility applying for or subject to a certificate under these regulations:

<u>Tank ID</u>	<u>AST/UST</u>	<u>Capacity (gallons)</u>	<u>Product</u>

I hereby designate the below-named person as an authorized representative to act in my stead. I also certify that this individual is an additional owner responsible for the petroleum tanks listed below at this facility applying for or subject to a certificate under these regulations.

Name of Individual: Jeff Manganello
Title: Vice President
Business Entity Name: Thalle Industries Inc.
Mailing Address: 51 Route 100
Briarcliff Manor, NY
10510

<u>Tank ID</u>	<u>AST/UST</u>	<u>Capacity (gallons)</u>	<u>Product</u>

ALL REGISTERED TANKS

I hereby certify under penalty of perjury that the information provided on this form is true to the best of my knowledge and belief. False statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law.

Signature of primary facility owner

Date

Signature of duly authorized representative designee

Date

SECTION B TANK INFORMATION

Provide details for each regulated active (in service or temporarily out of service) tank. See "Section B – Tank Information" of the "Application Instructions" for direction on the information to be provided. Refer to "Key Codes for Section B" for the selection numbers to enter in the columns. Complete one line per tank; use additional forms as necessary. Enter one choice per column. Two entries may be made in columns with dotted separators, you may indicate a primary and secondary choice. Leave one column blank if there is no second choice. For all entries of "99. Other", a description must be provided on a separate sheet of paper listed by Tank ID.

Action (if tank already exists - leave blank)	Tank ID	Tank Location	Status	Installation Date (Action 1,2,4,5) or Permanent Closure Date (Action 3) Circle which (MMYY)	Capacity (Gallons)	Product Stored % (if gas w/ ethanol or biodiesel)	Tank Type	Tank Internal Protection	Tank External Protection	Tank Secondary Containment	Tank Leak Detection	Tank Overfill Prevention	Tank Spill Prevention	Pumping/Dispensing Method	Piping Location	Piping Type	Piping External Protection	Piping Secondary Containment	Piping Leak Detection	Check box if UDC (Under Dispenser Containment) is present	Check box if tank is owned by party other than listed as Owner in Section A
	1	2	1		2000	0008	01	00	01	12	02	04	01	02	01	01	00	00	00	<input type="checkbox"/>	<input type="checkbox"/>
	2	2	1		1000	0009	01	00	01	12	02	04	01	02	01	01	00	00	00	<input type="checkbox"/>	<input type="checkbox"/>
	3	2	1		2000	0008	01	00	01	12	02	04	01	02	01	01	00	00	00	<input type="checkbox"/>	<input type="checkbox"/>
	4	3	1		275	0001	01	00	01	01	06	04	01	04	01	10	00	00	00	<input type="checkbox"/>	<input type="checkbox"/>
	5	3	1		275	0001	01	00	01	01	06	04	01	04	01	10	00	00	00	<input type="checkbox"/>	<input type="checkbox"/>
	6	2	2		1000	0001	01	00	01	12	02	04	01	02	01	01	00	00	00	<input type="checkbox"/>	<input type="checkbox"/>
	7	3	1		2000	2642	01	00	01	99	06	04	00	04	01	10	00	00	00	<input type="checkbox"/>	<input type="checkbox"/>
	8	2	1		300	0010	01	00	01	99	06	04	00	06	00	00	00	00	00	<input type="checkbox"/>	<input type="checkbox"/>
	9	2	1		250	0015	01	00	01	99	06	04	00	06	00	00	00	00	00	<input type="checkbox"/>	<input type="checkbox"/>
2	10	2	1	03/24	792	0008	01	00	01	12	02	04	01	06	00	00	00	00	00	<input type="checkbox"/>	<input checked="" type="checkbox"/>
																				<input type="checkbox"/>	<input type="checkbox"/>
																				<input type="checkbox"/>	<input type="checkbox"/>
																				<input type="checkbox"/>	<input type="checkbox"/>
																				<input type="checkbox"/>	<input type="checkbox"/>
																				<input type="checkbox"/>	<input type="checkbox"/>
																				<input type="checkbox"/>	<input type="checkbox"/>
																				<input type="checkbox"/>	<input type="checkbox"/>
																				<input type="checkbox"/>	<input type="checkbox"/>
																				<input type="checkbox"/>	<input type="checkbox"/>

Tanks 7, 8, 9
Secondary Containment -
Tanks are located indoors (in maintenance building) on concrete shop floor. The building provides secondary containment.

PETROLEUM BULK STORAGE APPLICATION - SECTION B - TANK INFORMATION - CODE KEY

Action (1)

1. Initial Listing
2. Add Tank
3. Close/Remove Tank
4. Information Correction
5. Repair/Reline Tank

Tank Location (3)

1. Aboveground-contact w/soil
2. Aboveground-contact w/impervious barrier
3. Aboveground on saddles, legs, stilts, rack or cradle
4. Partially buried tank (tank with 10% or more below ground)
5. Underground including vaulted with no access for inspection
6. Aboveground in Subterranean Vault w/access for inspections

Status (4)

1. In-service
2. Out-of-service
3. Closed-Removed
4. Closed- In Place
5. Tank converted to Non-Regulated use
- D. Delivery Prohibited

Products Stored (7)

Heating Oils: On-Site Consumption

- 0001. #2 Fuel Oil
- 0002. #4 Fuel Oil
- 0259. #5 Fuel Oil
- 0003. #6 Fuel Oil
- 0012. Kerosene
- 0591. Clarified Oil
- 2711. Biofuel Oil
- 2642. Used Oil (Heating)

Motor Fuels

- 0009. Gasoline
- 2712. Gasoline/Ethanol

- 0008. Diesel
- 2710. Biodiesel
- 0011. Jet Fuel
- 1044. Jet Fuel (Biofuel)
- 2641. Aviation Gasoline

Emergency Generator Fuels

- 0001. #2 Fuel Oil
- 2730. Biodiesel (E-Gen)
- 2731. Diesel (E-Gen)

Lubricating/Cutting Oils

- 0013. Lube Oil
- 0015. Motor Oil
- 1045. Gear/Spindle Oil
- 0010. Hydraulic Oil
- 0007. Cutting Oil
- 0021. Transmission Fluid
- 1836. Turbine Oil
- 0308. Petroleum Grease

Oils Used as Building Materials

- 2626. Asphaltic Emulsions
- 0748. Form Oil

Petroleum Spirits

- 0014. White/Mineral Spirits
- 1731. Naptha

Mineral/Insulating Oils

- 0020. Insulating Oil (e.g., Transformer, Cable Oil)
- 2630. Mineral Oil

Waste/Used/Other Oils

- 0022 Waste/Used Oil
- 9999. Other-Please list:*

Crude Oil

- 0006. Crude Oil
- 0701. Crude Oil Fractions

Tank Type (8)

- 01. Steel/Carbon Steel/Iron
- 02. Galvanized Steel Alloy
- 03. Stainless Steel Alloy
- 04. Fiberglass Coated Steel
- 05. Steel Tank in Concrete
- 06. Fiberglass Reinforced Plastic (FRP)
- 07. Plastic
- 08. Equivalent Technology

- 09. Concrete
- 10. Urethane Clad Steel
- 99. Other-Please list:*

Internal Protection (9)

- 00. None
- 01 Epoxy Liner
- 02. Rubber Liner
- 03. Fiberglass Liner (FRP)
- 04. Glass Liner
- 99. Other-Please list:*

External Protection (10/18)

- 00. None
- 01. Painted/Asphalt Coating
- 02. Original Sacrificial Anode
- 03. Original Impressed Current
- 04. Fiberglass
- 05. Jacketed
- 06. Wrapped (Piping)
- 07 Retrofitted Sacrificial Anode
- 08. Retrofitted Impressed Current
- 09. Urethane
- 99. Other-Please list:*

Tank Secondary Containment (11)

- 00. None
- 01. Diking (AST Only)
- 02. Vault (w/access)
- 03. Vault (w/o access)
- 04. Double-Walled (UST Only)
- 05. Synthetic Liner
- 06. Remote Impounding Area
- 07. Excavation Liner
- 09. Modified Double-Walled (AST Only)
- 10. Impervious Underlayment (AST Only)**
- 11. Double Bottom (AST Only)**
- 12. Double-Walled (AST Only)
- 99. Other - Please list*

Tank Leak Detection (12)

- 00. None
- 01. Interstitial Electronic Monitoring
- 02. Interstitial Manual Monitoring
- 03. Vapor Well
- 04. Groundwater Well
- 05. In-Tank System (Auto Tank

- 06. Impervious Barrier/Concrete Pad (AST Only)
- 07. Statistical Inventory Reconciliation (SIR)
- 08. Weep holes in vaults with no access for inspection
- 99. Other-Please list: *

Overfill Protection (13)

- 00. None
- 01. Float Vent Valve
- 02. High Level Alarm
- 03. Automatic Shut-Off
- 04. Product Level Gauge (AST Only)
- 05. Vent Whistle
- 99. Other-Please list:*

Spill Prevention (14)

- 00. None
- 01. Catch Basin
- 99. Other-Please list:*

Pumping/Dispensing Method (15)

- 00. None
- 01. Presurized Dispenser
- 02. Suction Dispenser
- 03. Gravity
- 04. On-Site Heating System (Suction)
- 05. On-Site Heating System (Supply/Return)
- 06. Tank-Mounted Dispenser
- 07. Loading Rack/Transfer Pump

Piping Location (16)

- 00. No Piping
- 01. Aboveground
- 02. Underground/On-ground
- 03. Aboveground/Underground Combination

Piping Type (17)

- 00. None
- 01. Steel/Carbon Steel/Iron
- 02. Galvanized Steel
- 03. Stainless Steel Alloy
- 04. Fiberglass Coated Steel
- 05. Steel Encased in Concrete

- 06. Fiberglass Reinforced Plastic (FRP)
- 07. Plastic
- 08. Equivalent Technology
- 09. Concrete
- 10. Copper
- 11. Flexible Piping
- 99. Other-Please list:*

Piping Secondary Containment (19)

- 00. None
- 01. Diking (Aboveground Only)
- 02. Vault (w/access)
- 04. Double-Walled (Underground Only)
- 06. Remote Impounding Area
- 07. Trench Liner
- 12. Double-Walled (Aboveground Only)
- 99. Other-Please list: *

Pipe Leak Detection (20)

- 00. None
- 01. Interstitial Electronic Monitoring
- 02. Interstitial Manual Monitoring
- 03. Vapor Well
- 04. Groundwater Well
- 07. Pressurized Piping Leak Detector
- 09. Exempt Suction Piping
- 10. Statistical Inventory Reconciliation (SIR)
- 99. Other-Please list:*

Under Dispenser Containment (UDC) (21)

Check Box if Present

.....

* If other, please list on a separate sheet including tank number,

** Each of these codes must be combined with code 01 or 06 to meet compliance requirements.

PETROLEUM BULK STORAGE

OVERVIEW

On June 23, 1998, the New York State Department of Environmental Conservation delegated the authority to administer the Petroleum Bulk Storage Code to the Westchester County Department of Health.

Petroleum bulk storage facilities are defined as those facilities having a petroleum storage tank with a capacity greater than 1,100 gallons, or having an aggregate amount of motor fuels/lubricants exceeding 1,100 gallons at a single site, or any waste oil tank.

Under Article XXV of the Westchester County Sanitary Code, the Westchester County Department of Health is now responsible for registering, inspecting, ensuring inventory monitoring and tank testing and, where appropriate, requiring remediation of code violations at these facilities. Violations of the Petroleum Bulk Storage Code may result in fines of up to \$1,000 per day.

PAYMENT

Payment must be in the form of a check or money order made payable to the Westchester County Department of Health.

For additional information about the Petroleum Bulk Storage Code, call the Westchester County Department of Health, Office of Environmental Health Risk Control, at (914) 864-7278 or (914) 864-7279.

REVISED FEE SCHEDULE

(as of October 18, 2019)

Registration (Registrations are valid for 3 years)

1 tank	\$330
2 tanks	\$530
3 tanks	\$660
Each additional tank	\$ 65
(Example: 5 tanks = \$790)	
Waste Oil Transfer facility	\$330

Work Permit (Work permits are valid for 90 days)

Remove tank and associated piping	\$300
Close tank	\$200
Install tank	\$145
Install/repair piping	\$100
Repair/recondition tank	\$145
Product substitution	\$100
Install non-stationary tank storage area	\$145

Variance Application \$265

Tightness Tester Registration

Tester certificates are valid for 1 year.

Company permit, per method	\$130
Technician permit, per method	\$130

Article XXVI Gasoline Dispensing Sites & Transport Vehicles (Vapor Recovery) \$300

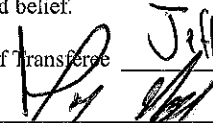
Late fee \$100




Westchester County Department of Health
25 Moore Avenue
Mount Kisco, NY 10549

APPLICATION FOR PERMIT TRANSFER (CHANGE OF OWNERSHIP)

PART 1 – TRANSFEREE (New Owner) Completes:

1. Attach a copy of current certificate to operate a source of air contamination
2. Name of Transferee: **Dakota Concrete Services LLC** Phone Number (**914**) **762 - 3415**
Mailing Address: **51 Route 100, Briarcliff Manor NY, 10510** Email: **jmanganello@thalleindustries.com**
Name of Facility: **Dakota Concrete Services LLC**
Facility Address: **2099 Albany Post Rd, Montrose NY 10548**
4. Will there be any modifications to the current operation as permitted? Yes _____ No **X** . If yes, submit details on separate sheet. Details will be reviewed to determine if the modification requires approval by this department.
5. Provide Proof of Insurance: Worker's Compensation Insurance Form C-105.2 or U-26.3, and Disability Insurance Form DB-120.1.
6. If new owner is a corporation or LLC, complete Certificate of Resolution for Authorization form.
7. **CERTIFICATION:** This certifies that the Transferee seeks to be the legally responsible party for operations, authorized by the permits identified above. The Transferee has a copy of the permit(s) and understands and will comply with all conditions in the referenced permit(s) and supports the content of referenced application(s). Facility operations will remain the same as authorized. Further, I hereby affirm that under penalty or perjury that information provided on this form and all attachments submitted herewith is true to the best of my knowledge and belief.
Printed Name and Title of Transferee **Jeff Manganello VP**
Signature of Transferee  Date **12-13-24**

PART II – TRANSFEROR (Present or Former Owner) Completes:

1. Name of Transferor: **Jay Bilotta** Phone **914 960-5291**
Mailing Address: **296 Purchase Street, Rye NY 10580**
Email: **JaysonNY1@aol.com**
2. Name of Facility if different from Facility name in Part 1: **Dakota Supply Corp**
3. **CERTIFICATION:** This certifies that ownership for the facility identified in Part 1 of this form ___ will be/ ___ was conveyed to the party identified as the Transferee on _____ (date). I affirm that this conveyance includes the rights and obligations of the permits, approvals, or applications identified above.
Printed Name and Title of Transferor _____
Signature of Transferor  Date _____

PART III – PERMIT TRANSFER VALIDATION SECTION - (FOR OFFICIAL USE ONLY)

_____ Transfer of Permit Approved, effective as of _____. Transferee subject to conditions of original permit, without exception.
_____ Attached find revised permit (CTO) reflecting new owner information

Signature _____ Date _____



CERTIFICATE OF INSURANCE COVERAGE DISABILITY AND PAID FAMILY LEAVE BENEFITS LAW

PART 1. To be completed by Disability and Paid Family Leave Benefits Carrier or Licensed Insurance Agent of that Carrier

1a. Legal Name & Address of Insured (use street address only) Dakota Concrete Services LLC and Dakota Recycling Services LLC. 2099 Albany Post Rd, Montrose NY 10548. <i>Work Location of Insured (Only required if coverage is specifically limited to certain locations in New York State, i.e., Wrap-Up Policy)</i>	1b. Business Telephone Number of Insured 1c. Federal Employer Identification Number of Insured or Social Security Number 133277028
2. Name and Address of Entity Requesting Proof of Coverage (Entity Being Listed as the Certificate Holder) Westchester County Department of Health 25 Moore Ave Mt Kisco, NY 10549	3a. Name of Insurance Carrier 3b. Policy Number of Entity Listed in Box "1a" 417538 3c. Policy effective period 12/12/2024 to 12/12/2025
4. Policy provides the following benefits: <input checked="" type="checkbox"/> A. Both disability and paid family leave benefits. <input type="checkbox"/> B. Disability benefits only. <input type="checkbox"/> C. Paid family leave benefits only.	
5. Policy covers: <input type="checkbox"/> A. All of the employer's employees eligible under the NYS Disability and Paid Family Leave Benefits Law. <input type="checkbox"/> B. Only the following class or classes of employer's employees: _____ _____	

Under penalty of perjury, I certify that I am an authorized representative or licensed agent of the insurance carrier referenced above and that the named insured has NYS Disability and/or Paid Family Leave Benefits insurance coverage as described above.

Date Signed 12/12/2024 By Joseph Gilliland
Digitally signed by Joseph Gilliland
DN: cn=JDBL Specialist, o=Unum, cn=Joseph Gilliland, email=JGilliland@unum.com
Reason: I am the author of this document
Location:
Date: 2024.12.12 14:18:58-0500
File: PDF Editor Version: 10.1.4
(Signature of insurance carrier's authorized representative or NYS Licensed Insurance Agent of that insurance carrier)

Telephone Number 1-800-ASK-UNUM Name and Title Joseph Gilliland DBL Specialist

IMPORTANT: If Boxes 4A and 5A are checked, and this form is signed by the insurance carrier's authorized representative or NYS Licensed Insurance Agent of that carrier, this certificate is COMPLETE. Mail it directly to the certificate holder.

If Box 4B, 4C or 5B is checked, this certificate is NOT COMPLETE for purposes of Section 220, Subd. 8 of the NYS Disability and Paid Family Leave Benefits Law. It must be mailed for completion to the Workers' Compensation Board, Plans Acceptance Unit, PO Box 5200, Binghamton, NY 13902-5200.

PART 2. To be completed by the NYS Workers' Compensation Board (Only if Box 4C or 5B of Part 1 has been checked)

State of New York Workers' Compensation Board	
According to information maintained by the NYS Workers' Compensation Board, the above-named employer has complied with the NYS Disability and Paid Family Leave Benefits Law with respect to all of his/her employees.	
Date Signed _____	By _____ <small>(Signature of Authorized NYS Workers' Compensation Board Employee)</small>
Telephone Number _____	Name and Title _____

Please Note: Only insurance carriers licensed to write NYS disability and paid family leave benefits insurance policies and NYS licensed insurance agents of those insurance carriers are authorized to issue Form DB-120.1. **Insurance brokers are NOT authorized to issue this form.**



Westchester County

George Latimer
County Executive
Department of Health
Sherlita Amlar, MD
Commissioner of Health

August 30, 2024

Jay Bilotta, c/o Bilotta Const. Corp
296 Purchase Street
Rye NY 10580

Re: Renewal - Certificate to Operate
A1 Industrial Facilities
Dakota Supply Corp.
Number of Emission Points:15

Dear Sir/Madam:

Please be advised that your current Certificate to Operate a Source of Air Contamination at your facility will expire on December 31, 2024. These certifications were issued pursuant the Chapter 873, Article XIII, Sections 873.1306.1 and 873.1306.3 of the Laws of Westchester County, NY.

Enclosed herewith is a copy of your application(s) that reflect the current description of your processes and the number of emission points this Department has on record for your facility. Please review these applications for accuracy, make the appropriate changes, sign where indicated and return application(s) with the operational fee. The completed application with the **operational fee of \$330.00 per emission point per year** for a total of **\$4950** must be made payable to the Westchester County Department of Health and should be forwarded to this writer by November 15, 2024.

Proof of Workers' Compensation and Disability Benefits Insurance, forms C-105.2 and DB-120.1 must be submitted to this Department. Employers may obtain these forms from their private insurance carrier. ACORD Forms are no longer acceptable as proof of insurance. If your facility does not require insurance coverage, please visit the workers compensation board's website (www.wcb.ny.gov) and request a Certificate of Attestation of Exemption, Form CE-200. Upon completion of the form online, print up the certificate, sign, date, and submit to this department.

Should you require further information, please feel free to contact this writer at (914) 864-7278 or in my absence Gregory Toothill at (914) 864-7299.

Your cooperation in this matter is appreciated.

Respectfully,
Natasha Court
Natasha Court, PE
Associate Engineer
Bureau of Environmental Quality

Enclosure
cc: File

Department of Health
25 Moore Avenue
Mount Kisco, NY 10549

Telephone: (914) 813-5000

Fax: (914) 813-5003





Westchester County Department of Health

George Latimer

County Executive

Department of Health

Sheritta Amler, M.D.

Commissioner of Health

Bureau of Environmental Quality

Application for Certificate to Operate
Sources of Air Contamination

Facility Information:

WCDH Facility Number:

Emission Point Number: 00001

Facility Name: Dakota Supply Corp.

Facility Telephone: (914) 737-8756

Street Address: 2097 Albany Post Road

Municipality: Montrose

NY 10548

Facility Owner Information:

Owner's Name: Jay Blotta, c/o Blotta Const.
Corp

Owner Telephone: (914) 737-8756

Mailing Address: 296 Purchase Street Municipality: Rye NY 10580

Source Description:

one (1) ground storage aggregate materials prior to loading into feed bin. Opacity of particulate fugitive emissions shall not exceed 20%.

OWNER STATEMENT:

Application is made pursuant to Chapter 873, Article XIII, Section 873.1306.1 of the Laws of Westchester County hereby for Certificates to Operate the above source(s) of air contamination. The source will be operated in accordance with the source description(s), approved plans, permissible emission rates and special conditions for this facility on file with the Department, and in compliance with the Westchester County Sanitary Code and Title 6 NYCRR.

X

Signature of Owner or Authorized Representative

Date Signed

Print Name and
Title:



Westchester County Department of Health

George Latimer
County Executive
Department of Health
Sherita Amier, M.D.
Commissioner of Health

Bureau of Environmental Quality

Application for Certificate to Operate
Sources of Air Contamination

Facility Information:

WCDH Facility Number: Emission Point Number: 00002
Facility Name: Dakota Supply Corp. Facility Telephone: (914) 737-8756
Street Address: 2097 Albany Post Road
Municipality: Montrose NY 10548

Facility Owner Information:

Owner's Name: Jay Bilotta, c/o Bilotta Const. Corp. Owner Telephone: (914) 737-8756
Mailing Address: 296 Purchase Street Municipality: Rye NY 10580

Source Description:

one (1) ground storage aggregate materials prior to loading into feed bin. Opacity of particulate fugitive emissions shall not exceed 20%.

OWNER STATEMENT:

Application is made pursuant to Chapter 873, Article XIII, Section 873.1306.1 of the Laws of Westchester County hereby for Certificates to Operate the above source(s) of air contamination. The source will be operated in accordance with the source description(s), approved plans, permissible emission rates and special conditions for this facility on file with the Department and in compliance with the Westchester County Sanitary Code and Title 6 NYCRR.

X

Signature of Owner or Authorized Representative

12-13-27
Date Signed

Print Name and
Title:



Westchester County Department of Health

George Letimer
County Executive
Department of Health
Sheritta Amter, M.D.
Commissioner of Health

Bureau of Environmental Quality

Application for Certificate to Operate
Sources of Air Contamination

Facility Information:

WCDH Facility Number:

Emission Point Number: 00002A

Facility Name: Dakota Supply Corp.

Facility Telephone: (914) 737-8756

Street Address: 2097 Albany Post Road

Municipality: Montrose

NY 10548

Facility Owner Information:

Owner's Name: Jay Bilotta, c/o Bilotta Const.
Corp

Owner Telephone: (914) 737-8756

Mailing Address: 296 Purchase Street Municipality: Rye NY 10580

Source Description:

The transfer of 3/4 inch stone from hopper to conveyor belt. Opacity of particulate fugitive emission shall not exceed 20%

OWNER STATEMENT:

Application is made pursuant to Chapter 873, Article XIII, Section 873.1306.1 of the Laws of Westchester County hereby for Certificates to Operate the above source(s) of air contamination. The source will be operated in accordance with the source description(s), approved plans, permissible emission rates and special conditions for this facility on file with the Department, and in compliance with the Westchester County Sanitary Code and Title 6 NYCRR.

X

Signature of Owner or Authorized Representative

Date Signed

Print Name and
Title:



Westchester County Department of Health

George Lalimer
County Executive
Department of Health
Sherita Amler, M.D.
Commissioner of Health

Bureau of Environmental Quality

Application for Certificate to Operate
Sources of Air Contamination

Facility Information:

WCDH Facility Number: Emission Point Number: 00001A
Facility Name: Dakota Supply Corp. Facility Telephone: (914) 737-8756
Street Address: 2097 Albany Post Road
Municipality: Montrose NY 10548

Facility Owner Information:

Owner's Name: Jay Blotta, c/o Blotta Const. Corp. Owner Telephone: (914) 737-8756
Mailing Address: 296 Purchase Street Municipality: Rye NY 10580

Source Description:

The transfer of sand from hopper to conveyor belt. Opacity of particulate fugitive emission shall not exceed 20%

OWNER STATEMENT:

Application is made pursuant to Chapter 873, Article XIII, Section 873.1306.1 of the Laws of Westchester County hereby for Certificates to Operate the above source(s) of air contamination. The source will be operated in accordance with the source description(s), approved plans, permissible emission rates and special conditions for this facility on file with the Department, and in compliance with the Westchester County Sanitary Code and Title 6 NYCRR.

x

Signature of Owner or Authorized Representative

13-13-27
Date Signed

Print Name and
Title:



Westchester County Department of Health

George Latimer
County Executive
Department of Health
Sherika Amier, M.D.
Commissioner of Health

Bureau of Environmental Quality

Application for Certificate to Operate
Sources of Air Contamination

Facility Information:

WCDH Facility Number: Emission Point Number: 00003
Facility Name: Dakota Supply Corp. Facility Telephone: (914) 737-8756
Street Address: 2097 Albany Post Road
Municipality: Montrose NY 10548

Facility Owner Information:

Owner's Name: Jay Bilotta, c/o Bilotta Const. Corp. Owner Telephone: (914) 737-8756
Mailing Address: 296 Purchase Street Municipality: Rye NY 10580

Source Description:

one (1) ground storage aggregate materials prior to loading into feed bin. Opacity of particulate fugitive emissions shall not exceed 20%.

OWNER STATEMENT:

Application is made pursuant to Chapter 873, Article XIII, Section 873.1306.1 of the Laws of Westchester County hereby for Certificates to Operate the above source(s) of air contamination. The source will be operated in accordance with the source description(s), approved plans, permissible emission rates and special conditions for this facility on file with the Department, and in compliance with the Westchester County Sanitary Code and Title 6 NYCRR.

X

Signature of Owner or Authorized Representative

Date Signed

Print Name and
Title:



Westchester County Department of Health

George Latimer
County Executive
Department of Health
Sherita Amfer, M.D.
Commissioner of Health

Bureau of Environmental Quality

Application for Certificate to Operate
Sources of Air Contamination

Facility Information:

WCDH Facility Number: Emission Point Number: 00003A
Facility Name: Dakota Supply Corp. Facility Telephone: (914) 737-8756
Street Address: 2097 Albany Post Road
Municipality: Montrose NY 10548

Facility Owner Information:

Owner's Name: Jay Bilotta, c/o Bilotta Const. Corp. Owner Telephone: (914) 737-8756
Mailing Address: 296 Purchase Street Municipality: Rye NY 10580

Source Description:

The transfer of 3/8 inch stone from hopper to conveyor belt. Opacity of particulate fugitive emission shall not exceed 20%

OWNER STATEMENT:

Application is made pursuant to Chapter 873, Article XIII, Section 873.1306.1 of the Laws of Westchester County hereby for Certificates to Operate the above source(s) of air contamination. The source will be operated in accordance with the source description(s), approved plans, permissible emission rates and special conditions for this facility on file with the Department, and in compliance with the Westchester County Sanitary Code and Title 6 NYCRR.

X

Signature of Owner or Authorized Representative

12-13-24
Date Signed

Print Name and
Title: _____

Westchester County Department of Health

George Latimer
County Executive
Department of Health
Sherita Amier, M.D.
Commissioner of Health

Bureau of Environmental Quality

Application for Certificate to Operate
Sources of Air Contamination

Facility Information:

WCDH Facility Number:

Emission Point Number: 00004

Facility Name: Dakota Supply Corp.

Facility Telephone: (914) 737-8756

Street Address: 2097 Albany Post Road

Municipality: Montrose

NY 10548

Facility Owner Information:

Owner's Name: Jay Bilotta, c/o Bilotta Const.
Corp

Owner Telephone: (914) 737-8756

Mailing Address: 296 Purchase Street Municipality: Rye NY 10580

Source Description:

one (1) ground storage aggregate materials prior to loading into feed bin. Opacity of particulate fugitive emissions shall not exceed 20%.

OWNER STATEMENT:

Application is made pursuant to Chapter 873, Article XIII, Section 873.1306.1 of the Laws of Westchester County hereby for Certificates to Operate the above source(s) of air contamination. The source will be operated in accordance with the source description(s), approved plans, permissible emission rates and special conditions for this facility on file with the Department, and in compliance with the Westchester County Sanitary Code and Title 6 NYCRR.

X

Signature of Owner or Authorized Representative

Date Signed

Print Name and
Title:



Westchester County Department of Health

George Latimer
County Executive
Department of Health
Sherita Amler, M.D.
Commissioner of Health

Bureau of Environmental Quality

Application for Certificate to Operate
Sources of Air Contamination

Facility Information:

WCDH Facility Number: Emission Point Number: 00004A

Facility Name: Dakota Supply Corp. Facility Telephone: (914) 737-8756

Street Address: 2097 Albany Post Road

Municipality: Montrose NY 10548

Facility Owner Information:

Owner's Name: Jay Bilotta, c/o Bilotta Const. Owner Telephone: (914) 737-8756
 Corp

Mailing Address: 296 Purchase Street Municipality: Rye NY 10580

Source Description:

The transfer of 1/2 inch stone from hopper to conveyor belt. Opacity of particulate fugitive emission shall not exceed 20%

OWNER STATEMENT:

Application is made pursuant to Chapter 873, Article XIII, Section 873.1306.1 of the Laws of Westchester County hereby for Certificates to Operate the above source(s) of air contamination. The source will be operated in accordance with the source description(s), approved plans, permissible emission rates and special conditions for this facility on file with the Department, and in compliance with the Westchester County Sanitary Code and Title 6 NYCRR.

X

Signature of Owner or Authorized Representative

12-13-14
Date Signed

Print Name and
Title: _____

Westchester County Department of Health

George Letimer
County Executive
Department of Health
Sheri La Arker, M.D.
Commissioner of Health

Bureau of Environmental Quality

Application for Certificate to Operate
Sources of Air Contamination

Facility Information:

WCDH Facility Number: Emission Point Number: 00005
Facility Name: Dakota Supply Corp. Facility Telephone: (914) 737-8756
Street Address: 2097 Albany Post Road
Municipality: Montrose NY 10548

Facility Owner Information:

Owner's Name: Jay Bilotta, c/o Bilotta Const. Corp. Owner Telephone: (914) 737-8756
Mailing Address: 296 Purchase Street Municipality: Rye NY 10580

Source Description:

To operate one (1) elevated storage bin for sand or aggregate materials storage prior to loading onto conveyor belt. Opacity of particulate fugitive emissions shall not exceed 20%.

OWNER STATEMENT:

Application is made pursuant to Chapter 873, Article XIII, Section 873.1306.1 of the Laws of Westchester County hereby for Certificates to Operate the above source(s) of air contamination. The source will be operated in accordance with the source description(s), approved plans, permissible emission rates and special conditions for this facility on file with the Department, and in compliance with the Westchester County Sanitary Code and Title 6 NYCRR.

X

Signature of Owner or Authorized Representative

12-13-24
Date Signed

Print Name and
Title:



Westchester County Department of Health

George Lalimer
County Executive
Department of Health
Sherita Amior, M.D.
Commissioner of Health

Bureau of Environmental Quality

Application for Certificate to Operate
Sources of Air Contamination

Facility Information:

WCDH Facility Number: Emission Point Number: 00006
Facility Name: Dakota Supply Corp. Facility Telephone: (914) 737-8756
Street Address: 2097 Albany Post Road
Municipality: Montrose NY 10548

Facility Owner Information:

Owner's Name: Jay Bilotta, c/o Bilotta Const. Corp. Owner Telephone: (914) 737-8756
Mailing Address: 296 Purchase Street Municipality: Rye NY 10580

Source Description:

To operate one (1) elevated storage bin for sand or aggregate materials storage prior to loading onto conveyor belt. Opacity of particulate fugitive emissions shall not exceed 20%.

OWNER STATEMENT:

Application is made pursuant to Chapter 873, Article XIII, Section 873.1306.1 of the Laws of Westchester County hereby for Certificates to Operate the above source(s) of air contamination. The source will be operated in accordance with the source description(s), approved plans, permissible emission rates and special conditions for this facility on file with the Department, and in compliance with the Westchester County Sanitary Code and Title 6 NYCRR.

X

Signature of Owner or Authorized Representative

Date Signed

Print Name and
Title:



Westchester County Department of Health

George Latimer
County Executive
Department of Health
Sherille Amier, M.D.
Commissioner of Health

Bureau of Environmental Quality

Application for Certificate to Operate
Sources of Air Contamination

Facility Information:

WCDH Facility Number: Emission Point Number: 00007
Facility Name: Dakota Supply Corp. Facility Telephone: (914) 737-8756
Street Address: 2097 Albany Post Road
Municipality: Montrose NY 10548

Facility Owner Information:

Owner's Name: Jay Bilotta, c/o Bilotta Const. Corp. Owner Telephone: (914) 737-8756
Mailing Address: 296 Purchase Street Municipality: Rye NY 10580

Source Description:

To operate one (1) elevated storage bin for sand or aggregate materials storage prior to loading onto conveyor belt. Opacity of particulate fugitive emissions shall not exceed 20%.

OWNER STATEMENT:

Application is made pursuant to Chapter 873, Article XIII, Section 873.1306.1 of the Laws of Westchester County hereby for Certificates to Operate the above source(s) of air contamination. The source will be operated in accordance with the source description(s), approved plans, permissible emission rates and special conditions for this facility on file with the Department, and in compliance with the Westchester County Sanitary Code and Title 6 NYCRR.

x

Signature of Owner or Authorized Representative

Date Signed

Print Name and
Title:

Westchester County Department of Health

George Letimer
County Executive
Department of Health
Sheritta Amter, M.D.
Commissioner of Health

Bureau of Environmental Quality

Application for Certificate to Operate
Sources of Air Contamination

Facility Information:

WCDH Facility Number: Emission Point Number: 00008
Facility Name: Dakota Supply Corp. Facility Telephone: (914) 737-8756
Street Address: 2097 Albany Post Road
Municipality: Montrose NY 10548

Facility Owner Information:

Owner's Name: Jay Bilotta, c/o Bilotta Const. Corp. Owner Telephone: (914) 737-8756
Mailing Address: 296 Purchase Street Municipality: Rye NY 10580

Source Description:

To operate one (1) elevated storage bin for sand or aggregate materials storage prior to loading onto conveyor belt. Opacity of particulate fugitive emissions shall not exceed 20%.

OWNER STATEMENT:

Application is made pursuant to Chapter 873, Article XIII, Section 873.1306.1 of the Laws of Westchester County hereby for Certificates to Operate the above source(s) of air contamination. The source will be operated in accordance with the source description(s), approved plans, permissible emission rates and special conditions for this facility on file with the Department, and in compliance with the Westchester County Sanitary Code and Title 6 NYCRR.

X

Signature of Owner or Authorized Representative

Date Signed

Print Name and
Title:



Westchester County Department of Health

George Latimer
County Executive
Department of Health
Sherilla Amter, M.D.
Commissioner of Health

Bureau of Environmental Quality

Application for Certificate to Operate
Sources of Air Contamination

Facility Information:

WCDH Facility Number: Emission Point Number: 00009
Facility Name: Dakota Supply Corp. Facility Telephone: (914) 737-8756
Street Address: 2097 Albany Post Road
Municipality: Montrose NY 10548

Facility Owner Information:

Owner's Name: Jay Bilotta, c/o Bilotta Const. Corp. Owner Telephone: (914) 737-8756
Mailing Address: 296 Purchase Street Municipality: Rye NY 10580

Source Description:

To operate a transfer of sand & aggregate to the conveyor belt. Both sand and aggregate discharge onto the conveyor belt. Opacity of particulate fugitive emissions shall not exceed 20%.

OWNER STATEMENT:

Application is made pursuant to Chapter 873, Article XIII, Section 873.1306.1 of the Laws of Westchester County hereby for Certificates to Operate the above source(s) of air contamination. The source will be operated in accordance with the source description(s), approved plans, permissible emission rates and special conditions for this facility on file with the Department, and in compliance with the Westchester County Sanitary Code and Title 6 NYCRR.

X

Signature of Owner or Authorized Representative

Date Signed

Print Name and
Title:



Westchester County Department of Health

George Latimer
County Executive
Department of Health
Sherilla Amior, M.D.
Commissioner of Health

Bureau of Environmental Quality

Application for Certificate to Operate
Sources of Air Contamination

Facility Information:

WCDH Facility Number: Emission Point Number: 00010
Facility Name: Dakota Supply Corp. Facility Telephone: (914) 737-8756
Street Address: 2097 Albany Post Road
Municipality: Montrose NY 10548

Facility Owner Information:

Owner's Name: Jay Bilotta, c/o Bilotta Const. Corp. Owner Telephone: (914) 737-8756
Mailing Address: 296 Purchase Street Municipality: Rye NY 10580

Source Description:

To operate a weight hopper for the collection of aggregate and cement emissions are controlled by two (2) ConECo Model 14-23S with reverse air cleaning mechanism equipped with pressure drop monitor. Opacity of particulate fugitive emissions shall not exceed 20%.

OWNER STATEMENT:

Application is made pursuant to Chapter 873, Article XIII, Section 873.1306.1 of the Laws of Westchester County hereby for Certificates to Operate the above source(s) of air contamination. The source will be operated in accordance with the source description(s), approved plans, permissible emission rates and special conditions for this facility on file with the Department, and in compliance with the Westchester County Sanitary Code and Title 6 NYCRR.

X

Signature of Owner or Authorized Representative

12-13-27
Date Signed

Print Name and
Title:



Westchester County Department of Health

George Latimer
County Executive
Department of Health
Sherita Amler, M.D.
Commissioner of Health

Bureau of Environmental Quality

Application for Certificate to Operate
Sources of Air Contamination

Facility Information:

WCDH Facility Number: Emission Point Number: 00011
Facility Name: Dakota Supply Corp. Facility Telephone: (914) 737-8756
Street Address: 2097 Albany Post Road
Municipality: Montrose NY 10548

Facility Owner Information:

Owner's Name: Jay Bilotta, c/o Bilotta Const. Corp. Owner Telephone: (914) 737-8756
Mailing Address: 296 Purchase Street Municipality: Rye NY 10580

Source Description:

4 silos for storing cement by pneumatic transfer from tanker trucks and to construct a loading process into transit mix vehicles all controlled by one (1) ConECO Model PJ1400 Pulse Jet fabric collector. The bag house is equipped with a pressure drop monitor, and an 8,000 cfm exhaust blower for air to cloth ratio of 5.6:1. Opacity of particulate fugitive emissions shall not exceed 20%.

OWNER STATEMENT:

Application is made pursuant to Chapter 873, Article XIII, Section 873.1306.1 of the Laws of Westchester County hereby for Certificates to Operate the above source(s) of air contamination. The source will be operated in accordance with the source description(s), approved plans, permissible emission rates and special conditions for this facility on file with the Department, and in compliance with the Westchester County Sanitary Code and Title 6 NYCRR.

X

Signature of Owner or Authorized Representative

12-13-24
Date Signed

Print Name and
Title:

WESTCHESTER COUNTY

Kenneth W. Jenkins
County Executive

Department of Health

Dr. Sherlita Amler, M.D., M.S.
Commissioner

May 12, 2025

CLA Site
58 Church Street, Suite 200
Saratoga Springs, NY 12866,
Attn: Paul M. Adel, PE

RE: Certificate to Operate
Emission Points: EPJ01, EPJ02, EPJ03,
EPJ04, EPC01, EPS01, EPP01, EPP02,
EPP03, EPP04, EPP05, EPP06, EPP07,
EPK01, EPV01, EPV02, EPL01, EPL02,
EPL03, EPL04, EPL05, EPMEX, EPJEX,
EPLEX, EPKEX, and EPSTP
Dakota Recycling Services LLC
2099 Albany Post Road
Montrose, NY 10548

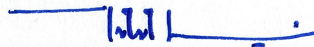
Dear Mr. Adel:

Forwarded herewith, please find a Certificate to Operate a Source of Air Contamination issued for the above premise by the Westchester County Department of Health pursuant to Chapter 873, Article XIII, Section 873.1306.1 of the Laws of Westchester County under **Permit Numbers 52-10124 through 52-10149**.

Your attention is directed to the installation description, expiration date, and conditions of approval.

Please be advised that the applicant is responsible for the proper maintenance and operation of the above-referenced installation in such a manner that it will not exceed the emission limits or contravene the provisions of applicable State and County Air Pollution Control Regulations. Proper training of personnel in the operation of this equipment should be arranged for with the manufacturer or supplier of the equipment.

Respectfully,



Zaw Thein, PE
Acting Assistant Commissioner
Bureau of Environmental Quality

ZT:GT

cc: Jeff Manganello, Vice President, Dakota Recycling Service LLC
Martin Rogers, Director of Code Enforcement, Cortlandt (T)
Maria Antoniou, P.E., NYSDEC-WP
File

**WESTCHESTER COUNTY DEPARTMENT OF HEALTH
25 MOORE AVENUE
MOUNT KISCO, NY 10549
SHERLITA AMLER, MD, COMMISSIONER**

EMISSION POINT: EPJ01

PERMIT NUMBER :52-10124

**CERTIFICATE TO OPERATE
A SOURCE OF AIR CONTAMINATION**

Approval is hereby given for the operation of an air contamination source pursuant to the provisions of Chapter 873, Article XIII, Section 873.1306.1 of the Laws of Westchester County.

OWNER/OPERATOR: Dakota Recycling Services LLC

NAME: Jeff Manganello

ADDRESS: 2099 Albany Post Road
Montrose, NY 10548

INSTALLATION ADDRESS:

2099 Albany Post Road
Montrose, NY 10548

DESCRIPTION: To operate the primary crushing unit, Sandvik QJ341, capable of handling 440 Ton/hr. consists of a jaw crusher (EPJ02), feed hopper (EPJ01), two (2) conveyor belts (drop points EPJ03 and EPJ04) and a diesel engine (EPJEX). Cat C9.3B Tier 4 rated 375 hp utilizing 19.4 GPH of No.2 diesel fuel. Material is fed to the crusher hopper by excavator. Loading the hopper generates airborne dust. Dust is controlled with a water spray system. Opacity of the fugitive dust emission shall not exceed 7 percent.

CONDITIONS:

1. This source of contamination shall be operated in compliance with the provisions of Chapter 873, Article XIII, of the Laws of Westchester County and the air pollution control regulations contained in Title 6 (Environmental Conservation) of the Official compilation of Codes, Rules, and Regulations of the State of New York.
2. This Certificate may be suspended or revoked, as provided by the Laws of Westchester County, if this source of air contamination is maintained or operated other than in compliance with provisions of Chapter 873, Article XIII of the Laws of Westchester County, or of the air pollution control regulations contained in Title 6 (Environmental Conservation) of the Official compilation of Codes, Rules and Regulations of the State of New York.
3. Air contaminants collected by air cleaning devices shall be handled and disposed of in a manner whereby they will not be introduced in the outer air.
4. That the construction or modification of this source of air contamination is in accordance with plans CLA-001, CLA-002, CLA-003, CLA-004 dated January 10, 2025 and marked "as-built."
5. That the emission from this source of air contamination shall not exceed those set forth on the attached Appendix A.

FOR THE COMMISSIONER



Zaw Thein, P.E.
Acting Assistant Commissioner
Bureau of Environmental Quality

Certificate Issued: May 12, 2025

Certificate Expires: December 31, 2025

THIS APPROVAL IS NOT TRANSFERABLE-PLEASE POST